



# Van Buren Public Schools Savage & Tyler Elementary Schools Secured Entry Renovations

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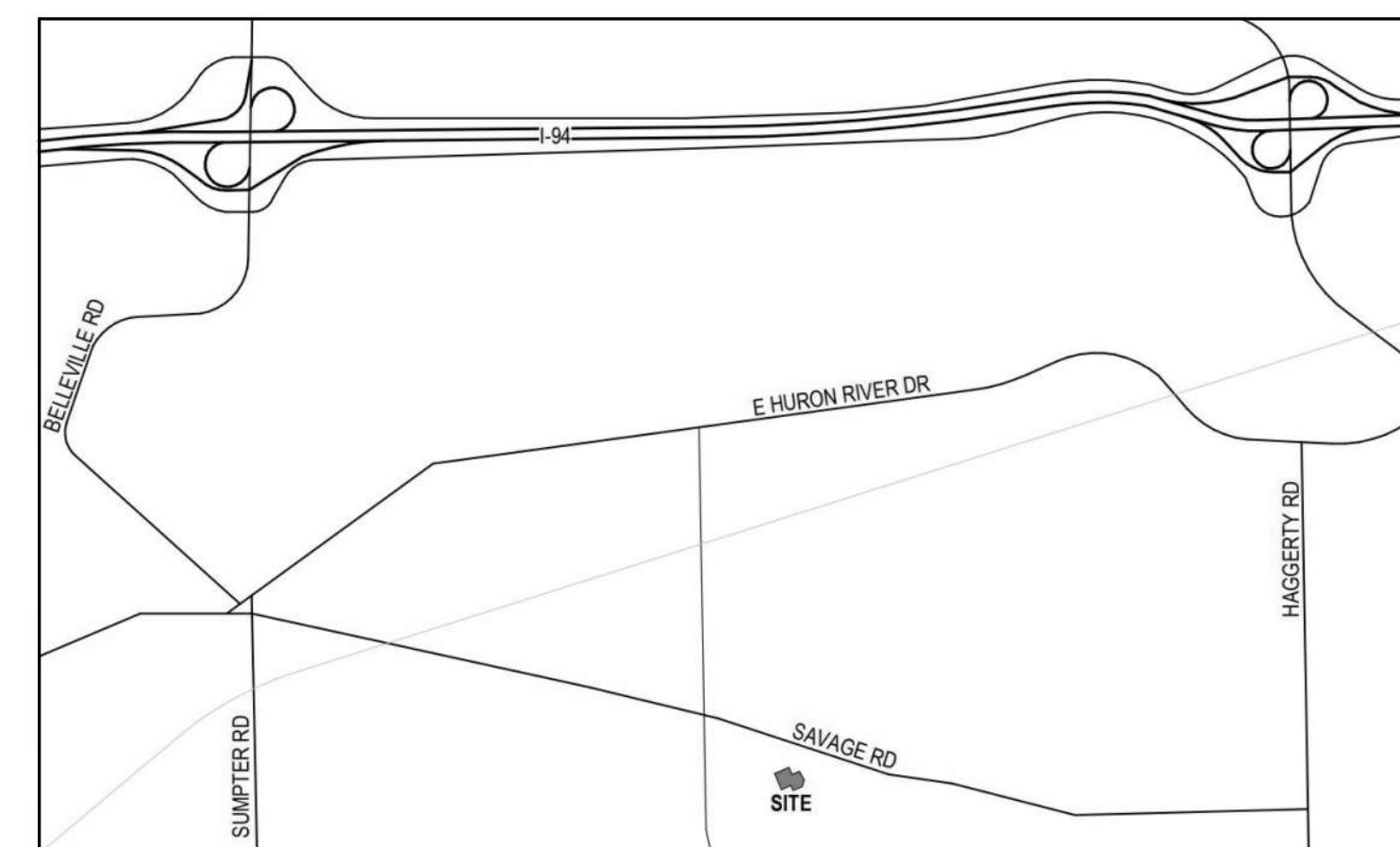
Code Information

REFER TO DRAWING 1.LS0.1 AND 1.LS0.2  
FOR LIFE SAFETY AND CODE INFORMATION

Issued for Issue Date

Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024

Savage Elementary  
42975 Savage Rd  
Belleville, MI 48111



Tyler Elementary  
42200 Tyler Rd  
Belleville, MI 48111

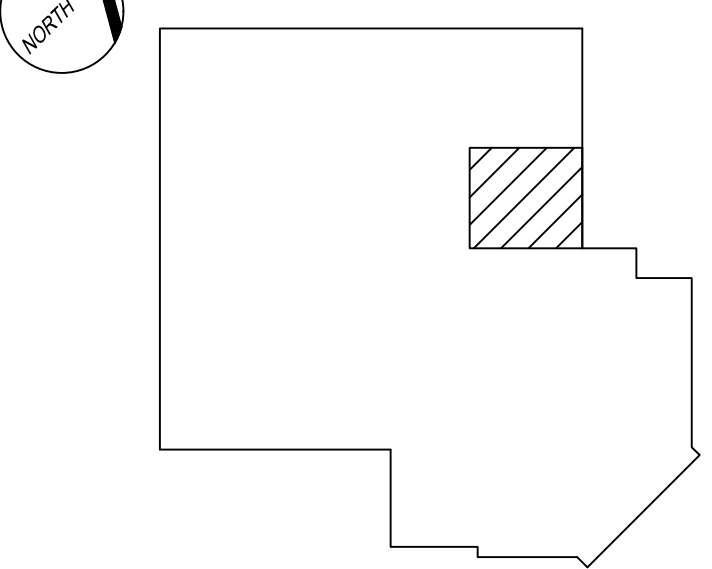


Registration Seal

Signature \_\_\_\_\_ Date \_\_\_\_\_

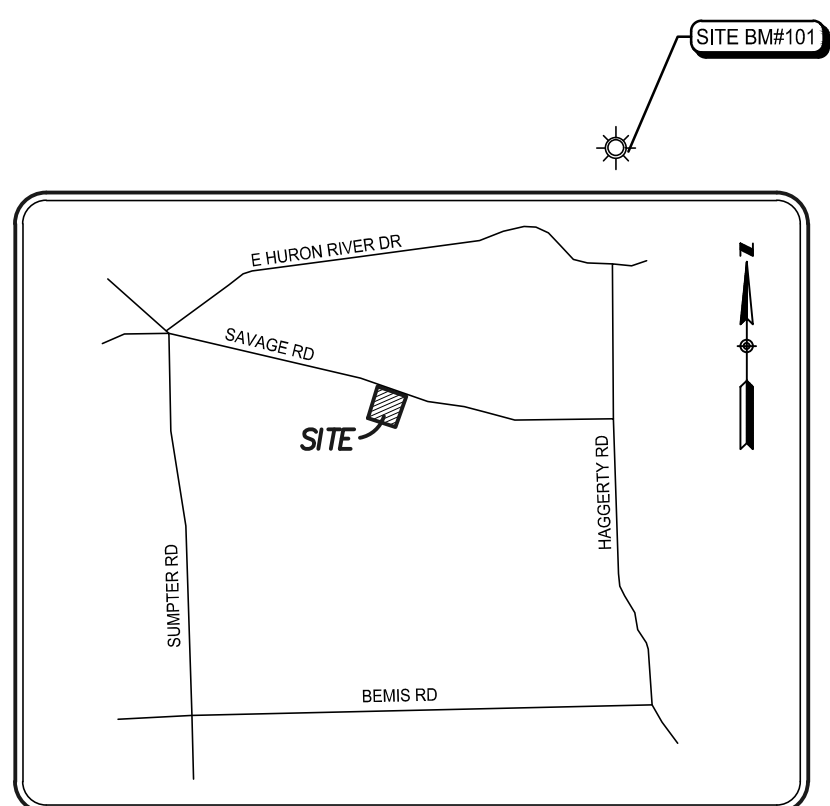
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Signature \_\_\_\_\_ Date \_\_\_\_\_



### LEGEND

- MANHOLE
- ⊕ CATCH BASIN
- ⊕ SEWER CLEAN OUT
- ⊕ GAS METER
- ⊕ GAS SHUT OFF VALVE
- ⊕ VALVE BOX
- ⊕ GATE VALVE & WELL
- ⊕ WATER SHUT OFF VALVE
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER VALVE BOX
- ⊕ LAWN SPRINKLER HEAD
- ⊕ UNVERIFIED MAPPED OBJECT
- ⊕ ELECTRIC RISER OR METER
- ⊕ TELEPHONE RISER
- ⊕ CABLE TV RISER
- ⊕ AIR CONDITION UNIT
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/ LAMP EXTENSION (ARROW INDICATES DIRECTION OF ARM)
- ⊕ LIGHT POLE
- ⊕ LIGHT POLE WITH LAMP EXTENSION
- ⊕ TRAFFIC SIGNAL
- ⊕ POLE W/ TRAFFIC SIGNAL (OVER ROAD)
- ⊕ GUY WIRE
- ⊕ GROUND LEVEL / DECORATIVE LIGHTING
- ⊕ FLAG POLE
- ⊕ METAL OR CONC. POST
- ⊕ MAILBOX
- ⊕ SIGN
- ⊕ WATER FOUNTAIN
- ⊕ PARKING METER
- ⊕ BILLBOARD OR LARGE SIGN
- ⊕ BASKETBALL HOOP
- ⊕ BOULDER
- ⊕ STATUE OR SCULPTURE
- ⊕ BENCH
- ⊕ BIKE RACK
- ⊕ BIKE RACK
- ⊕ PICNIC TABLE
- ⊕ SOCCER GOAL
- ⊕ STUMP
- ⊕ DS-S DOWNSPOUT INTO STORM DRAIN
- ⊕ DS-G DOWNSPOUT TO GROUND
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ⊕ DECIDUOUS SHRUB
- ⊕ CONIFEROUS SHRUB
- ⊕ SECTION CORNER
- ⊕ TRAVERSE POINT
- ⊕ STRUCTURE NUMBER
- ⊕ SDA POINT No.
- ⊕ SPOT ELEVATION
- TC TOP OF CURB ELEVATION
- GU GUTTER ELEVATION
- TP TOP OF PAVEMENT ELEVATION
- EM EDGE OF METAL ELEVATION
- TW TOP OF WALK ELEVATION
- TWALL TOP OF WALL ELEVATION
- BWALL BOTTOM OF WALL ELEVATION
- GR GROUND ELEVATION
- UG UNDERGROUND
- FO FIBER OPTIC
- CONC CONCRETE
- ASPH ASPHALT
- FF FINISH FLOOR ELEVATION
- DL DOOR LEDGE ELEVATION
- F.I FOUND IRON
- F.M FOUND MONUMENT
- F.P.K FOUND P.K. NAIL
- S.I SET IRON W/SDA CAP
- S.P.K SET P.K. NAIL
- S.P.K.TAG SET P.K. NAIL W/SDA TAG
- MAG SET MAGNETIC NAIL
- MAG.TAG SET MAGNETIC NAIL W/SDA TAG
- M MEASURED
- R RECORD
- C CALCULATED
- INV. INVERT ELEVATION
- CMP CORRUGATED METAL PIPE
- G GAS
- SN SANITARY SEWER (SAN)
- STM STORM SEWER (STM)
- WM WATERMAIN (WM)
- OH OVERHEAD WIRE
- CS COMBINED SEWER
- STE STEAM LINE
- O OIL LINE
- F UG FIBER (COMM.)
- E UG ELECTRIC (ELEC.)
- T UG PHONE (PH)
- C UG CABLE (CBL)
- CL CHAIN LINK FENCE (CL)
- W WOOD FENCE
- WH WOOD FENCE (WH)
- GR GUARD RAIL
- EB EDGE OF BRUSHWOODS
- CD CENTERLINE OF DITCH
- CULV CULVERT
- MA MAJOR CONTOUR
- MI MINOR CONTOUR
- BL BOUNDARY LINES
- RL ROW LINES
- SL SECTION LINES
- PL PROPERTY LINES
- ASPH ASPHALT
- CONC CONCRETE
- GRV/DRT/MULCH GRAVEL/DIRT/MULCH
- BRK/PV BRICK/PAVERS
- WATER WATER
- WATER W/ VEGETATION WATER W/ VEGETATION



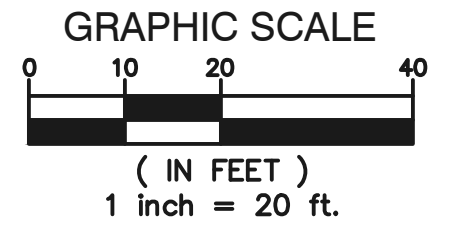
**LOCATION MAP**  
NOT TO SCALE

**SURVEY NOTES**

1. TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS MAY BE BASED ON RECORD DATA NOT MEASURED IN THE FIELD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
4. CONTRACTOR SHALL CONTACT MISS DIG (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.

**SHEET INDEX - SAVAGE ELEMENTARY**

- 1.C1.1 - TOPOGRAPHICAL SURVEY - SAVAGE
- 1.C1.2 - DEMOLITION PLAN - SAVAGE
- 1.C1.3 - SITE ENGINEERING PLAN - SAVAGE

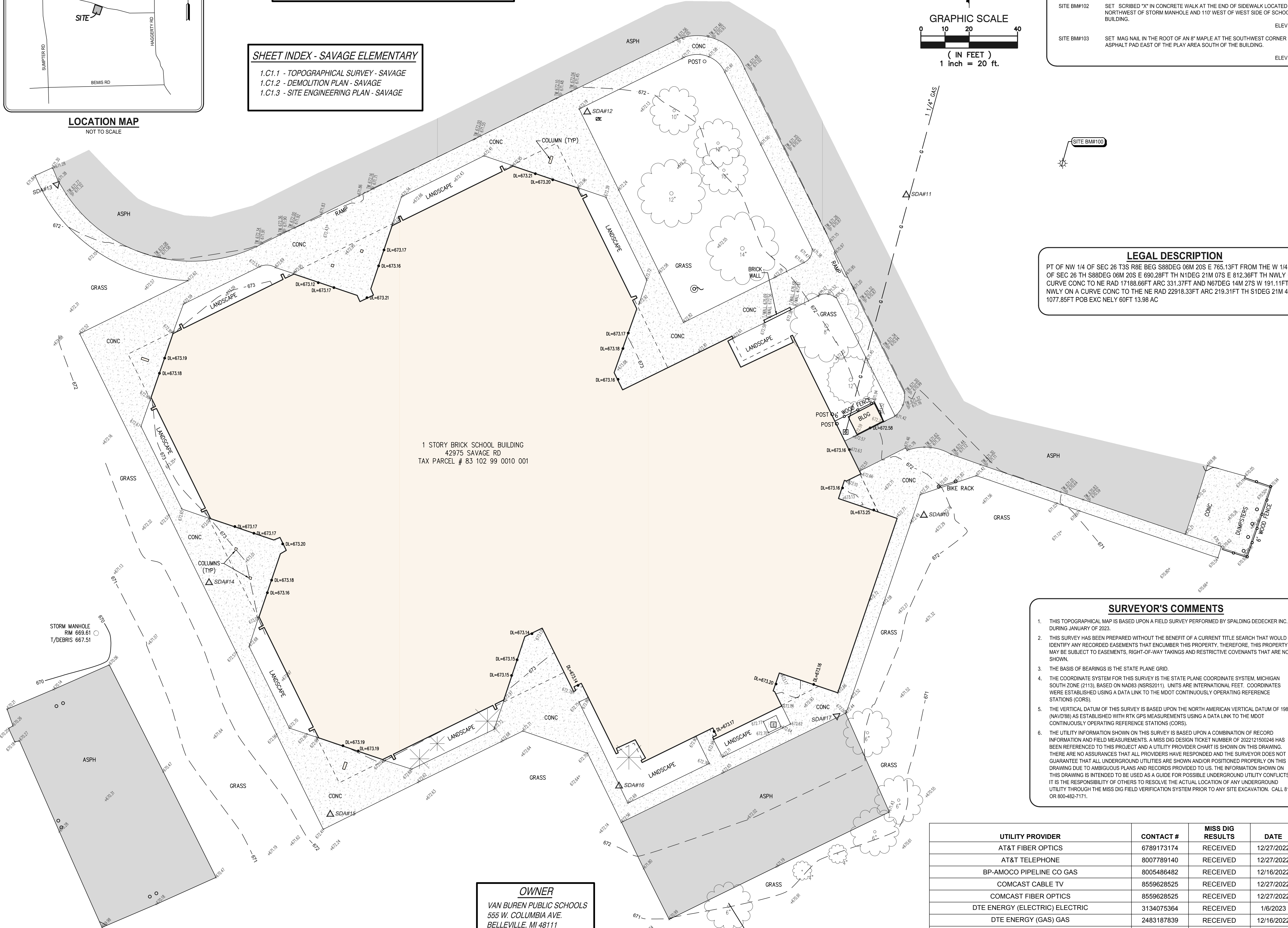


**BENCHMARK DESCRIPTIONS**  
DATUM: GPS-DERIVED NAVD88

BENCHMARK	DESCRIPTION	ELEVATION
SITE BM#100	SET SCRIBED "X" ON THE SOUTHWEST SIDE OF LIGHT POLE BASE LOCATED IN THE EAST PARKING LOT.	ELEV.-672.71
SITE BM#101	SET SCRIBED "X" ON THE SOUTHEAST SIDE OF LIGHT POLE BASE LOCATED AT THE MOST WESTERLY LIGHT POLE IN THE WEST PARKING LOT.	ELEV.-673.82
SITE BM#102	SET SCRIBED "X" IN CONCRETE WALK AT THE END OF SIDEWALK LOCATED 87' NORTHWEST OF STORM MANHOLE AND 110' WEST OF WEST SIDE OF SCHOOL BUILDING.	ELEV.-671.04
SITE BM#103	SET MAG NAIL IN THE ROOT OF AN 8" MAPLE AT THE SOUTHWEST CORNER OF THE ASPHALT PAD EAST OF THE PLAY AREA SOUTH OF THE BUILDING.	ELEV.-671.42

**LEGAL DESCRIPTION**

PT OF NW 1/4 OF SEC 26 T3S R9E BEG S88DEG 06M 20S E 785.13FT FROM THE W 1/4 COR OF SEC 26 TH S88DEG 06M 20S E 690.28FT TH N4DEG 21M 07S E 812.36FT TH NWLY ON A CURVE CONC TO NE RAD 17188.66FT ARC 331.37FT AND N67DEG 14M 27S W 191.11FT AND NWLY ON A CURVE CONC TO THE NE RAD 22918.33FT ARC 219.31FT TH S1DEG 21M 47S W 1077.85FT POB EXC NELY 60FT 13.98 AC



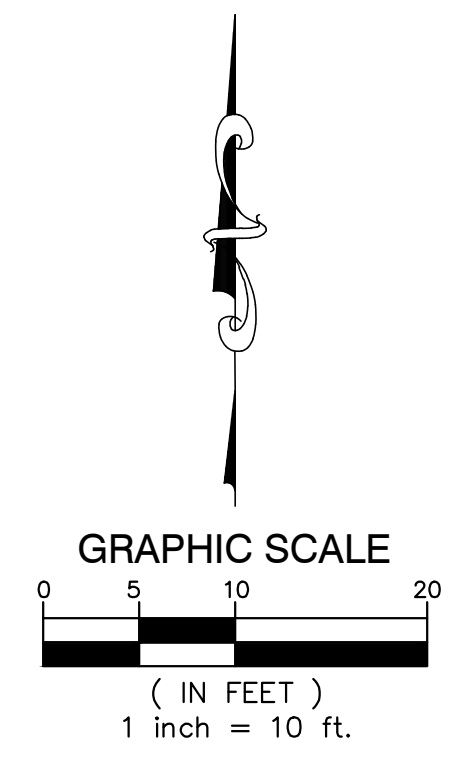
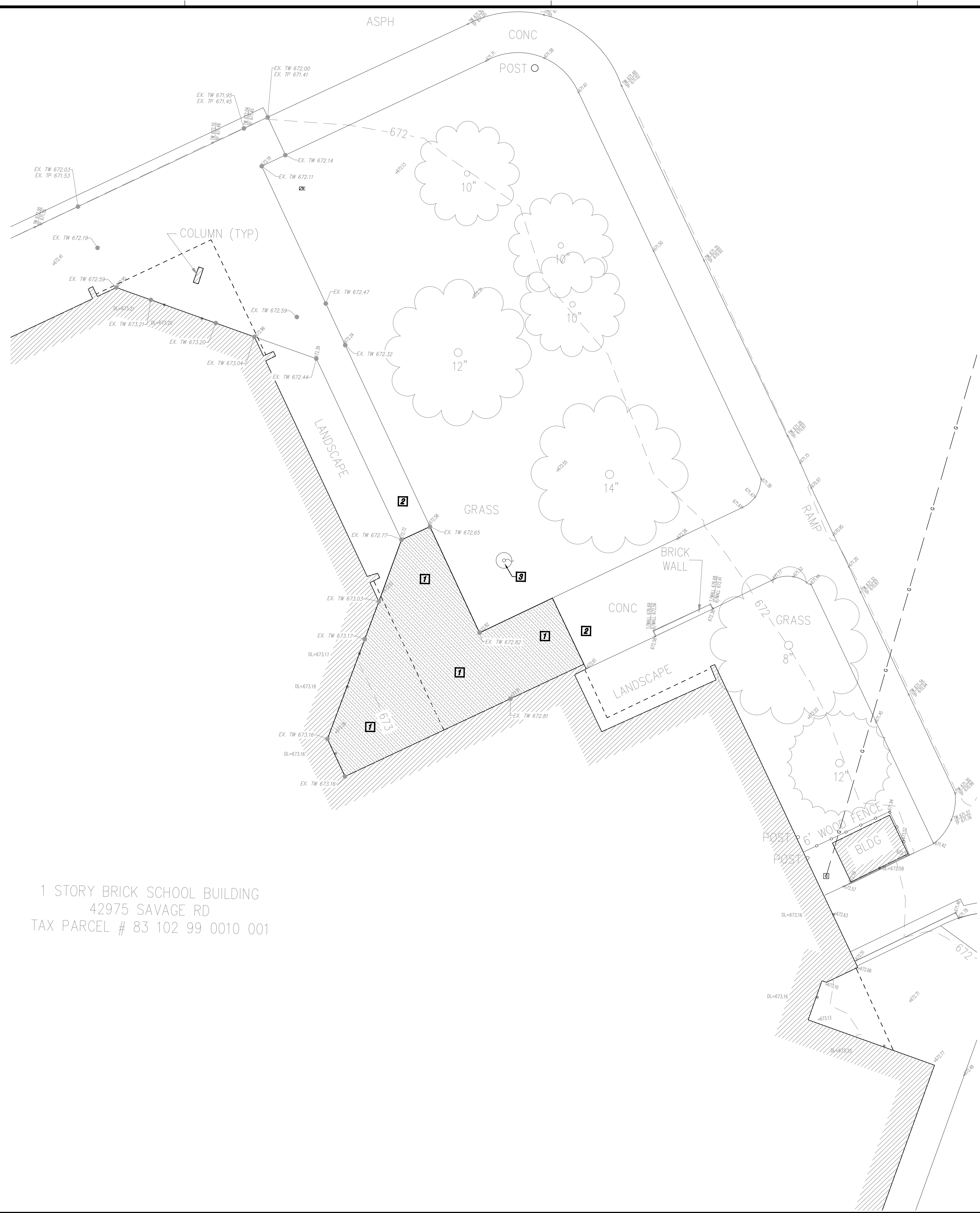
1 STORY BRICK SCHOOL BUILDING  
 42975 SAVAGE RD  
 TAX PARCEL # 83 102 99 001 001

**OWNER**  
 VAN BUREN PUBLIC SCHOOLS  
 555 W. COLUMBIA AVE.  
 BELLEVILLE, MI 48111  
 PHONE: (734) 697-9123  
 FAX: (734) 697-6385

**SURVEYOR'S COMMENTS**

1. THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEDECKER INC. DURING JANUARY OF 2023.
2. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH THAT WOULD IDENTIFY ANY RECORDED EASEMENTS THAT ENCLUMBER THIS PROPERTY. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT ARE NOT SHOWN.
3. THE BASIS OF BEARINGS IS THE STATE PLANE GRID.
4. THE COORDINATE SYSTEM FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE (2113), BASED ON NAD83 (NRSR2011). UNITS ARE INTERNATIONAL FEET. COORDINATES WERE ESTABLISHED USING A DATA LINK TO THE MDOIT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
5. THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED WITH RTK GPS MEASUREMENTS USING A DATA LINK TO THE MDOIT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
6. THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIG DESIGN TICKET NUMBER OF 202212500246 HAS BEEN REFERENCED TO THIS PROJECT AND A UTILITY PROVIDER CHART IS SHOWN ON THIS DRAWING. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-482-7171.

UTILITY PROVIDER	CONTACT #	MISS DIG RESULTS	DATE
AT&T FIBER OPTICS	6789173174	RECEIVED	12/27/2022
AT&T TELEPHONE	8007789140	RECEIVED	12/27/2022
BP-AMOCO PIPELINE CO GAS	8005486482	RECEIVED	12/16/2022
COMCAST CABLE TV	8559628525	RECEIVED	12/27/2022
COMCAST FIBER OPTICS	8559628525	RECEIVED	12/27/2022
DTE ENERGY (ELECTRIC) ELECTRIC	3134075364	RECEIVED	1/6/2023
DTE ENERGY (GAS) GAS	2483187839	RECEIVED	12/16/2022
ENBRIDGE ENERGY PARTNERS LP GAS	2697814434	RECEIVED	12/20/2022
VAN BUREN TOWNSHIP POTABLE WATER	7346998900		
VAN BUREN TOWNSHIP SANITARY SEWER	7346998900		
WOLVERINE PIPELINE COMPANY PIPELINE	8883375004	RECEIVED	12/16/2022



**DEMOLITION NOTES**

- 1** REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.
- 2** PROTECT EXISTING CONCRETE WALK TO REMAIN.
- 3** PROTECT EXISTING FLAG POLE INCLUDING BASE TO REMAIN.

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

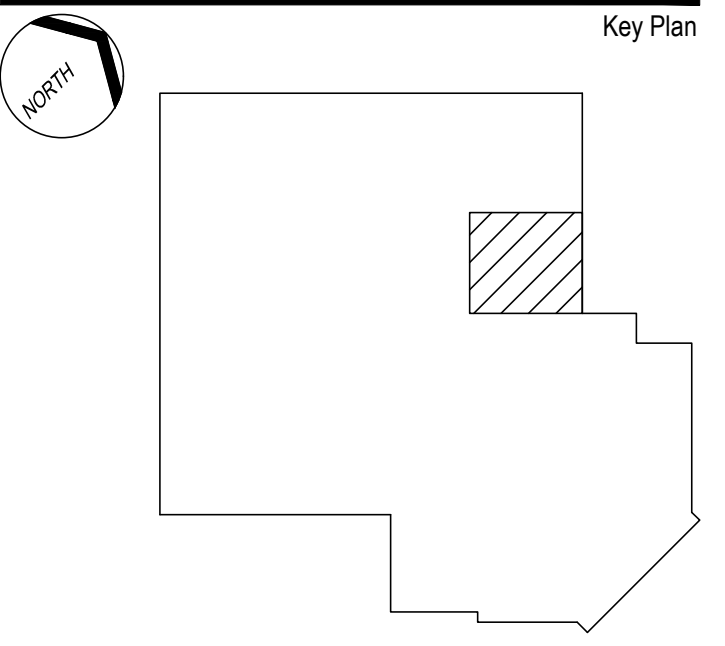
**BASE FILE DISCLAIMER**

TOPOGRAPHICAL SURVEY HAS BEEN COMBINED WITH PROPOSED DESIGN INFORMATION FROM PREVIOUS CONCRETE SIDEWALK REPLACEMENT PROJECT TO CREATE CURRENT BASE FILE. INCLUDING EXISTING GRADE INFORMATION. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO START OF WORK AND NOTIFY ENGINEER OF ANY ISSUES.

1 STORY BRICK SCHOOL BUILDING  
 42975 SAVAGE RD  
 TAX PARCEL # 83 102 99 0010 001

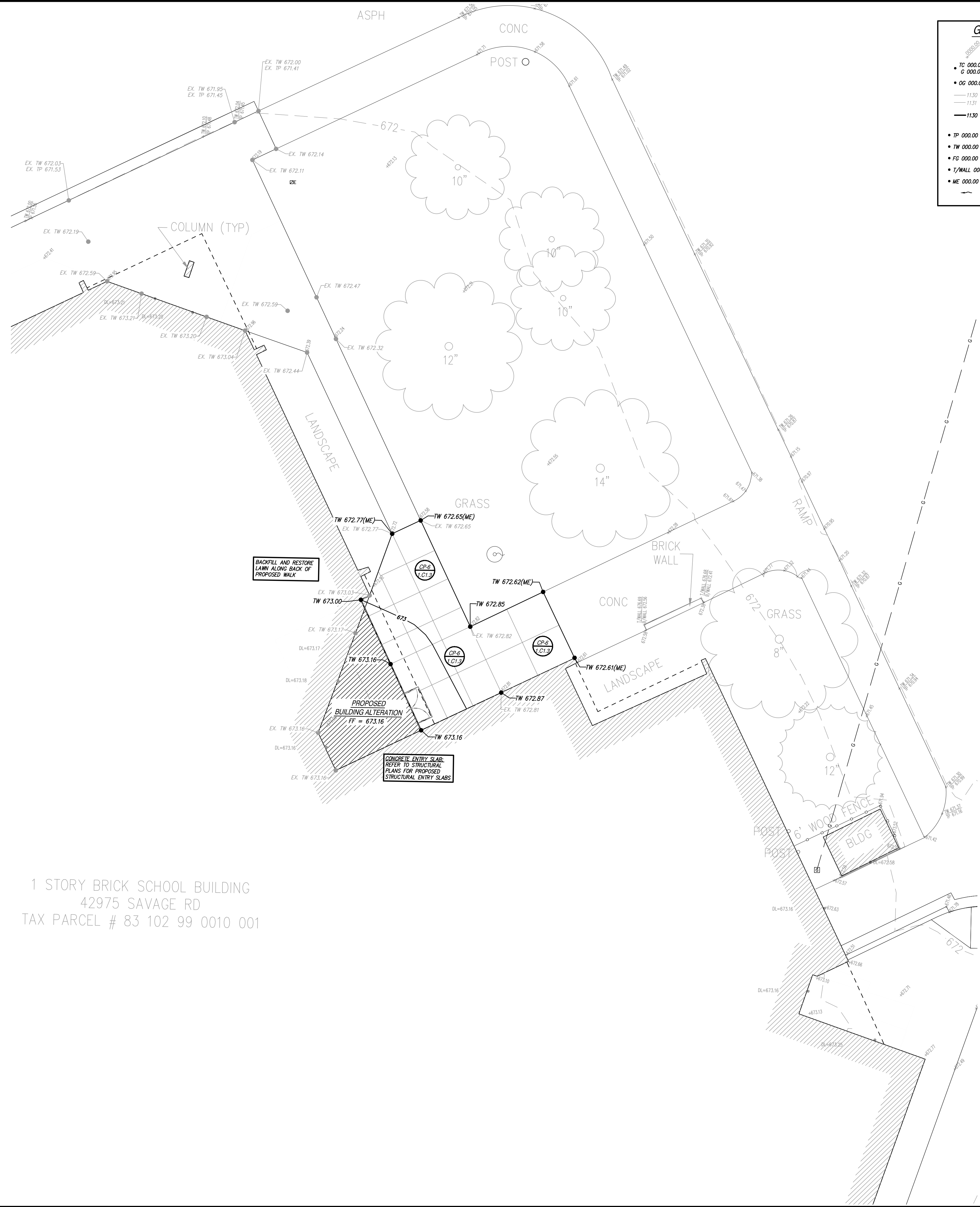
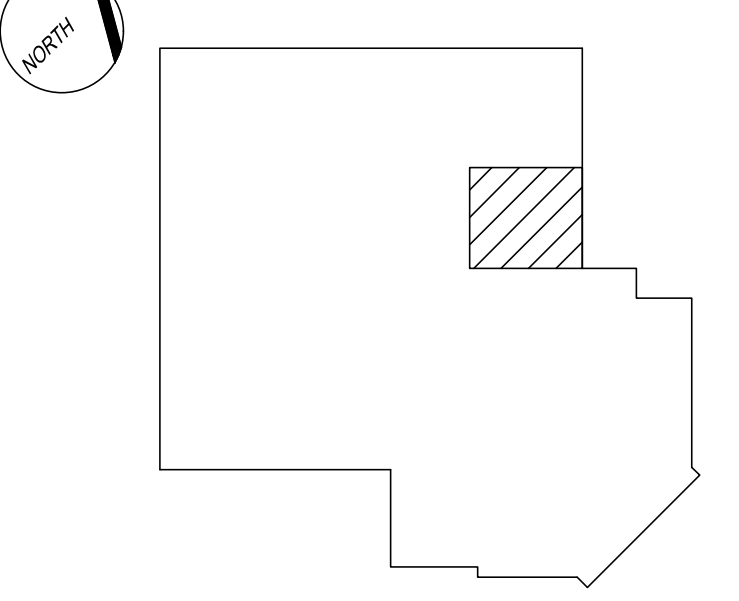
Project Title

Van Buren Public Schools  
**Savage & Tyler Elementary Schools Secured Entry Renovations**



Project Administrator	A. Maurer
Project Designer	J. Ensley
Project Architect / Engineer	J. Ensley
Drawn By	C. Yang
Q.M. Review	J. Ensley
Approved	J. Ensley
Drawing Scale	As Noted

Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024



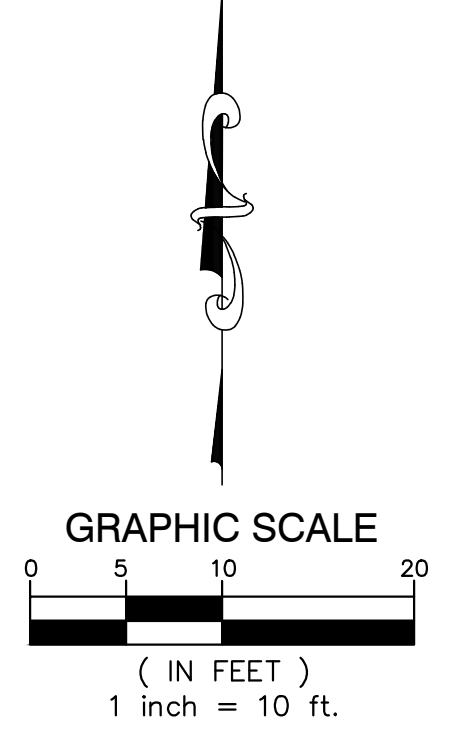
1 STORY BRICK SCHOOL BUILDING  
42975 SAVAGE RD  
TAX PARCEL # 83 102 99 0010 001

**GRADING LEGEND**

---	EXISTING ELEVATION
● TC 000.00	PROPOSED TOP OF CURB ELEVATION
● G 000.00	PROPOSED GUTTER ELEVATION
● OG 000.00	OUTSIDE GRADE ELEVATION
— 11.30	EXISTING CONTOURS
— 11.30	PROPOSED CONTOURS
● TP 000.00	TOP OF PAVEMENT ELEVATION
● TW 000.00	TOP OF WALK ELEVATION
● FG 000.00	FINISH GRADE ELEVATION
● TWALL 000.00	TOP OF WALL ELEVATION
● ME 000.00	MATCH EXISTING ELEVATION
→	FLOW ARROW

**LEGEND**

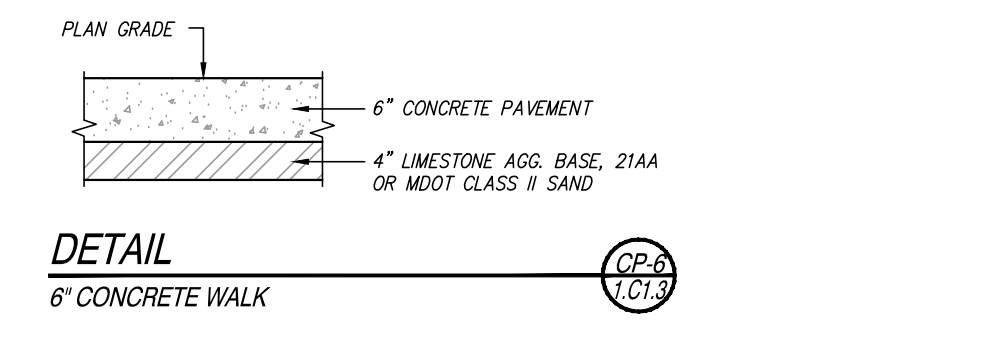
---	PROPOSED WATERMAIN	●	PROPOSED SAN MANHOLE (SAN)
---	PROPOSED STORM SEWER	●	PROPOSED STORM MANHOLE (SM)
---	PROPOSED GAS MAIN	■	PROPOSED CATCH BASIN (CB)
---	PROPOSED ELECTRIC	■	PROPOSED INLET (INL)
●	PROPOSED HYDRANT	▶	PROPOSED END SECTION (ES)
○	PROPOSED GATE VALVE & WELL (GVW)	⊕	PROPOSED FIELD CATCH BASIN (FCB) W/ WADICHE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊗	PROPOSED TAPPING SLLEEVE VALVE & WELL (TSVW)	⓪	UTILITY CROSSING (SEE DATA TABLE)
▨	STANDARD BITUMINOUS PAVEMENT	CB	STRUCT. TYPE
▨	HEAVY-DUTY BITUMINOUS PAVEMENT	2	STRUCT. NO.
▨	DEEP-STRENGTH BITUMINOUS PAVEMENT	20	STRUCT. NO.
▨	CONCRETE PAVEMENT	10	STRUCT. NO.
▨	CONCRETE SIDEWALK	XXX	STRUCT. TYPE
▨	MILL PAVEMENT		



- PAVING CONSTRUCTION NOTES**
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
  - REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
  - EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
  - THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
  - THE FINAL SUBGRADE SHALL BE THOROUGHLY PROOFROLLED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
  - THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
  - CONTRACTOR SHALL PROTECT EXISTING CURBS, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
  - PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), COLUMN WALLS OR BASES, CONCRETE FOUNDATIONS OR BASES, CURBS, OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
  - CONTRACTOR TO CONSTRUCT CONCRETE AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONCRETE JOINTS SHALL BE TOOLED WHERE SIDEWALK WIDTH IS 8' OR LESS, AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8' SPACING FOR 8' WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 50' SPACING. CONTRACTOR SHALL GENERALLY MATCH THE JOINT PATTERNS FOR CONCRETE PAVEMENT WHEN SHOWN ON THE PLANS.
  - CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR MDT GRADE 4000 CONCRETE PER THE CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

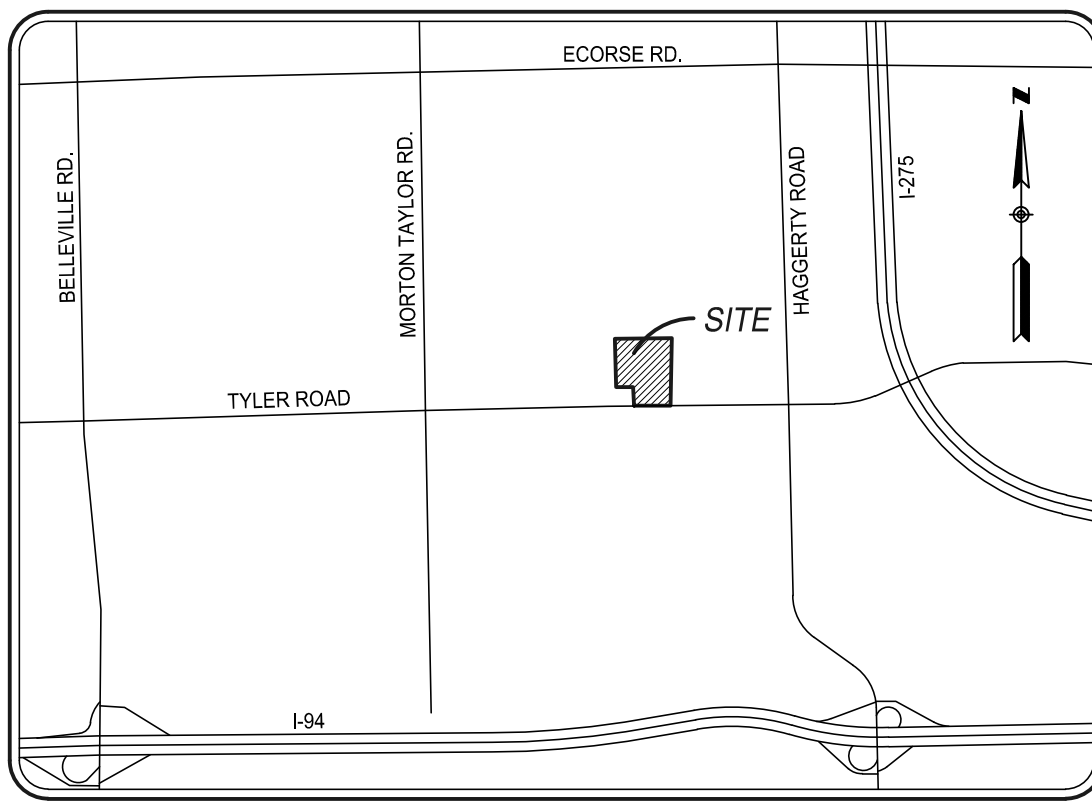
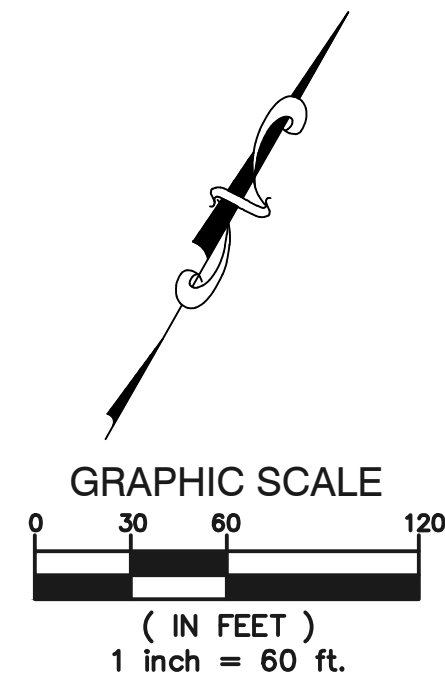
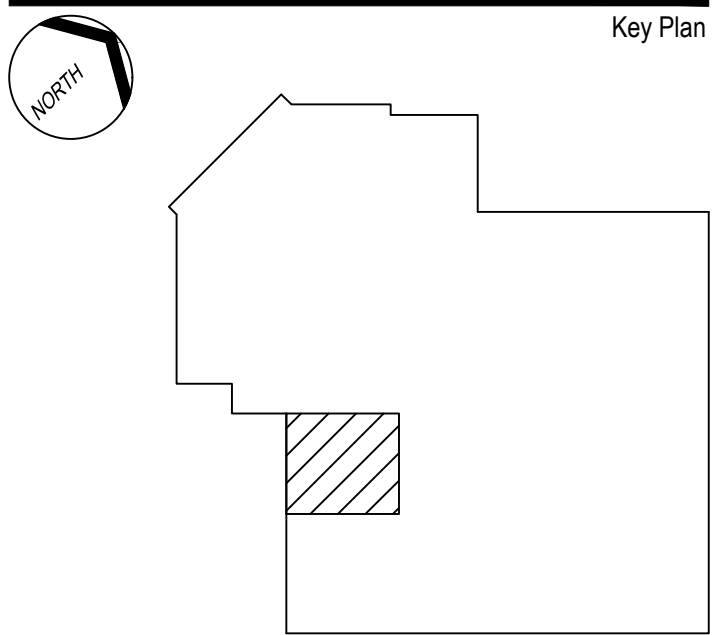
- GRADING NOTES**
- CONTRACTOR TO PLACE ALL NEW PAVEMENT TO THE GRADES INDICATED, OR MATCH ORIGINAL GRADES IF NEW GRADES ARE NOT SHOWN. CONTRACTOR SHALL CONFIRM MINIMUM 1% PAVEMENT SLOPES ARE ATTAINED IN ALL AREAS.
  - PROPOSED GRADES MAY BE BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND COULD DIFFER SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL CONFIRM THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1%) OR AN UNSAFE CONDITION WITH SLOPES IN EXCESS OF 5%. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.
  - ALL PAVEMENT PLACED WITHIN BARRIER FREE PARKING AREAS (STALLS AND ACCESS AISLES) SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, INCLUDING MEASURED DIAGONALLY ACROSS THE AREAS. CONTRACTOR SHALL ADJUST SLOPES AS NECESSARY TO PROVIDE ADA COMPLIANT SLOPES AS WELL AS PROVIDING RE-GRADED TRANSITION SLOPES OUTSIDE OF THE BARRIER FREE PARKING AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF TRANSITION ZONES WILL EXCEED MAXIMUM 5% SLOPES. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE PATTERNS WITH ALL NECESSARY PAVEMENT RE-GRADED.
  - ALL BARRIER FREE RAMPS AND ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF MDT DETAIL R-28 "SIDEWALK RAMP AND DETECTABLE WARNING DETAILS".
  - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STOPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

**RESTORATION NOTE**  
RESTORE ALL DISTURBED NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SEED MIX (30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 50% CREEPING RED FESCUE). PLACE MULCH IN ALL SEEDING AREAS. ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL, PLACE NORTH AMERICAN GREEN DUST MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURERS RECOMMENDATIONS TO HOLD MATING IN PLACE.





## Savage & Tyler Elementary Schools Secured Entry Renovations



LOCATION MAP  
NOT TO SCALE

### BENCHMARK DESCRIPTIONS

SITE	DESCRIPTION	ELEVATION
SITE BM#100	ARROW ON HYDRANT, LOCATED ON THE NORTH SIDE OF TYLER ROAD 440' WEST OF THE CENTERLINE OF ENTRANCE TO TYLER ELEMENTARY SCHOOL.	ELEV =678.76
SITE BM#101	CHISELED "X" ON NORTHEAST EDGE OF CONCRETE LIGHT POLE BASE, LOCATED ±135' SOUTH OF THE SOUTHERN MOST BUILDING FACE OF TYLER ELEMENTARY SCHOOL AND ±135' WEST OF THE EAST FENCE LINE.	ELEV =678.40
SITE BM#102	CHISELED "X" ON NORTH EDGE OF CONCRETE LIGHT POLE BASE, LOCATED ±140' SOUTH OF THE WESTERN MOST BUILDING FACE (SOUTH CORNER) OF TYLER ELEMENTARY SCHOOL AND ±160' EAST OF THE WEST FENCE LINE.	ELEV =679.81

### SURVEYOR'S COMMENTS

- THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEDECKER INC. DURING JANUARY OF 2023.
- THE PROPERTY LINES/RIGHT-OF-WAY LINES SHOWN ON THIS TOPOGRAPHICAL SURVEY ARE INTENDED TO BE AN APPROXIMATE GRAPHICAL REPRESENTATION OF THE PROPERTY LINES. SPALDING DEDECKER HAS BASED THE PROPERTY LINES AND RIGHT OF WAY LINES UPON A COMBINATION OF A PROVIDED LEGAL DESCRIPTION, FOUND FIELD MONUMENTATION AND OCCUPATION. PROPERTY LINES AS SHOWN IN DRAWING ARE BASED UPON THIS WORK. VARIATIONS MAY EXIST BETWEEN THE EXISTING PROPERTY DESCRIPTION AS SHOWN AND THE GRAPHICAL LINES COMPUTED IN THE DRAWING. A COMPLETE PROPERTY LINE ANALYSIS IS NOT PART OF THE SCOPE OF SERVICES AND PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD PER THE AGREED TO SCOPE OF SERVICES.
- THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH THAT WOULD IDENTIFY ANY RECORDED EASEMENTS THAT ENCUMBER THIS PROPERTY. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT ARE NOT SHOWN.
- THE BASIS OF BEARINGS IS THE STATE PLANE GRID.
- THE COORDINATE SYSTEM FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE (2113), BASED ON NAD83 (NRSR2011). UNITS ARE INTERNATIONAL FEET. COORDINATES WERE ESTABLISHED USING A DATA LINK TO THE MDOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
- THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED WITH RTK GPS MEASUREMENTS USING A DATA LINK TO THE MDOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
- THE PARKING LOT STRIPING SHOWN ON THIS SURVEY IS APPROXIMATE. DIMENSIONAL AND/OR ORIENTATION VARIATIONS MAY EXIST. THIS DRAWING SHOULD NOT BE USED FOR A PARKING SPACE COUNT.
- THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIG DESIGN TICKET NUMBER OF 2022125010130 HAS BEEN REFERENCED TO THIS PROJECT AND A UTILITY PROVIDER CHART IS SHOWN ON THIS DRAWING. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-462-7171.

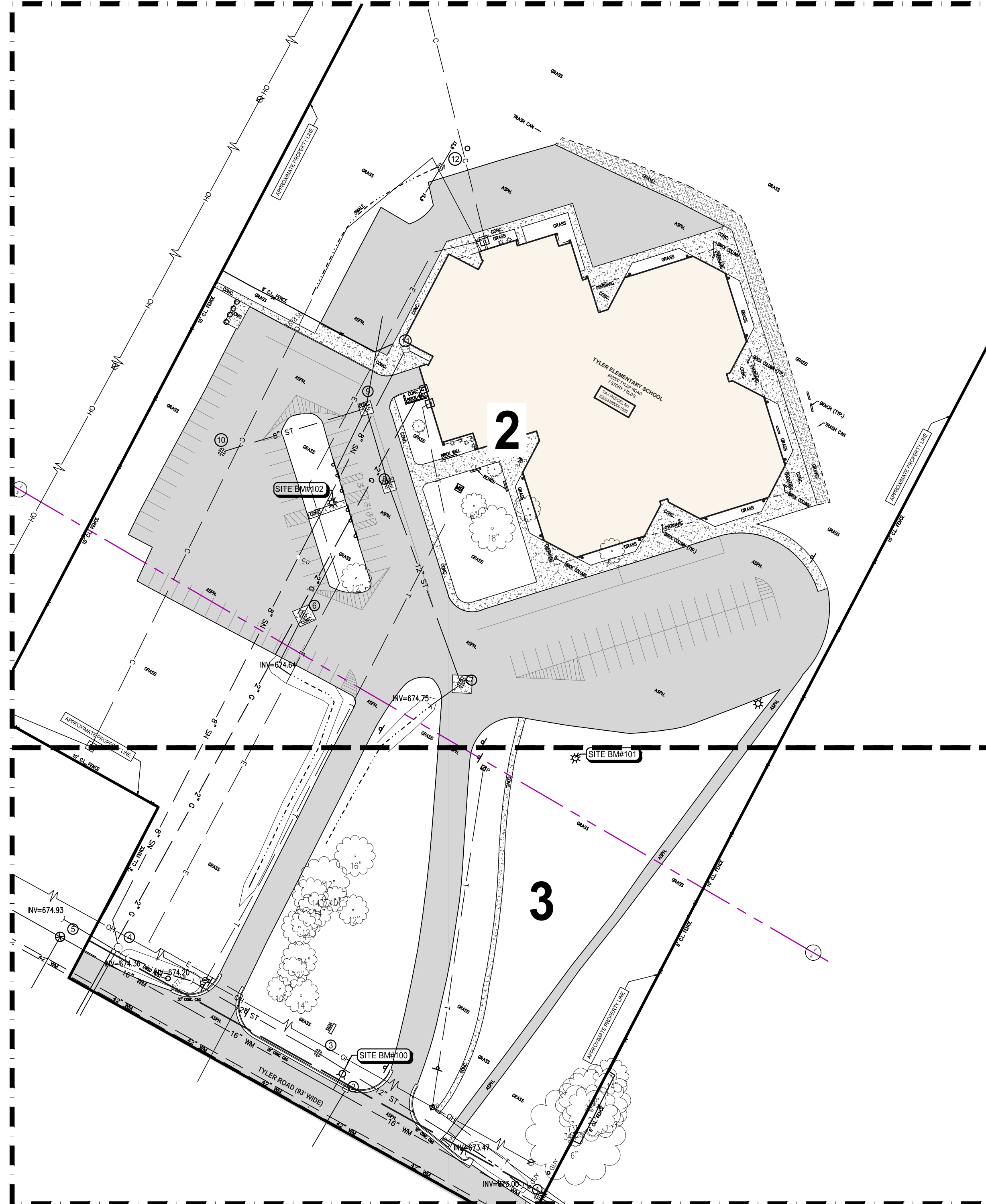
### LEGAL DESCRIPTION

SOURCE: BSA ONLINE  
OWNER: VAN BUREN PUBLIC SCHOOLS  
TAX PARCEL ID: 83-044-99-0001-005  
ADDRESS: 42200 TYLER ROAD

PT OF SE 1/4 SEC 11 T3S R6E DESC AS BEG N88DEG 02M 33S W 1907.70 FT FROM SE 1/4 COR SEC 11 TH N88DEG 02M 33S W 405.97 FT TH N00E 28M 45S E 150FT TH N88DEG 02M 33S W 150FT TH N00E 28M 45S E 1080.92 FT TH S88DEG 31 M 15S E 554.71 FT TH S00E 28M 45S W 87S. 7FT TH S00E 17M 41S W 350.15 FT TO POB 14.44 AC.

### UTILITY CHART

UTILITY PROVIDER	CONTACT #	MISS DIG RESULTS	DATE
123.NET, INC. FIBER OPTICS	(248) 431-4584	NOT RECEIVED	
AT&T FIBER OPTICS	(678) 917-3174	RECEIVED	12/29/2022
AT&T TELEPHONE	(800) 778-9140	RECEIVED	12/29/2022
COMCAST CABLE TV	(855) 962-8525	RECEIVED	12/29/2022
COMCAST FIBER OPTICS	(855) 962-8525	RECEIVED	12/29/2022
DTE ENERGY (ELECTRIC) ELECTRIC	(313) 407-5364	RECEIVED	1/8/2023
DTE ENERGY (GAS) GAS	(248) 318-7839	RECEIVED	12/19/2023
GREAT LAKES WATER AUTHORITY POTABLE WATER	(313) 799-0289	RECEIVED	12/15/2022
VAN BUREN TOWNSHIP POTABLE WATER	(734) 699-8900	NOT RECEIVED	
VAN BUREN TOWNSHIP SANITARY SEWER	(734) 699-8900	NOT RECEIVED	



### SURVEY NOTES

- TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS MAY BE BASED ON RECORD DATA NOT MEASURED IN THE FIELD.
- THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CONTRACTOR SHALL CONTACT MISS DIG (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.

### SHEET INDEX - TYLER ELEMENTARY

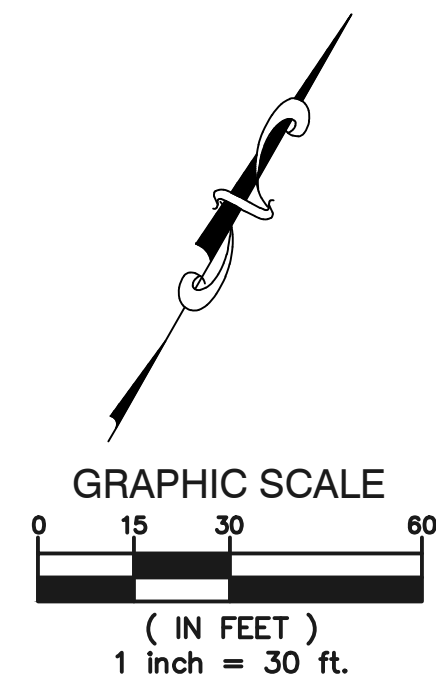
- 1.C2.1 - TOPOGRAPHICAL SURVEY - 1 OF 3 - TYLER
- 1.C2.2 - TOPOGRAPHICAL SURVEY - 2 OF 3 - TYLER
- 1.C2.3 - TOPOGRAPHICAL SURVEY - 3 OF 3 - TYLER
- 1.C2.4 - DEMOLITION PLAN - TYLER
- 1.C2.5 - SITE ENGINEERING PLAN - TYLER

**OWNER**  
VAN BUREN PUBLIC SCHOOLS  
555 W. COLUMBIA AVE.  
BELLEVILLE, MI 48111  
PHONE: (734) 697-9123  
FAX: (734) 697-6385

Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024

### LEGEND

- MANHOLE
- CATCH BASIN
- SEWER CLEAN OUT
- GAS METER
- GAS SHUT OFF VALVE
- VALVE BOX
- GATE VALVE & WELL
- WATER SHUT OFF VALVE
- FIRE HYDRANT
- SPRINKLER VALVE BOX
- LAWN SPRINKLER HEAD
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- DOOR LEDGE ELEVATION
- FOUND IRON
- FOUND MONUMENT
- FOUND P.K. NAIL
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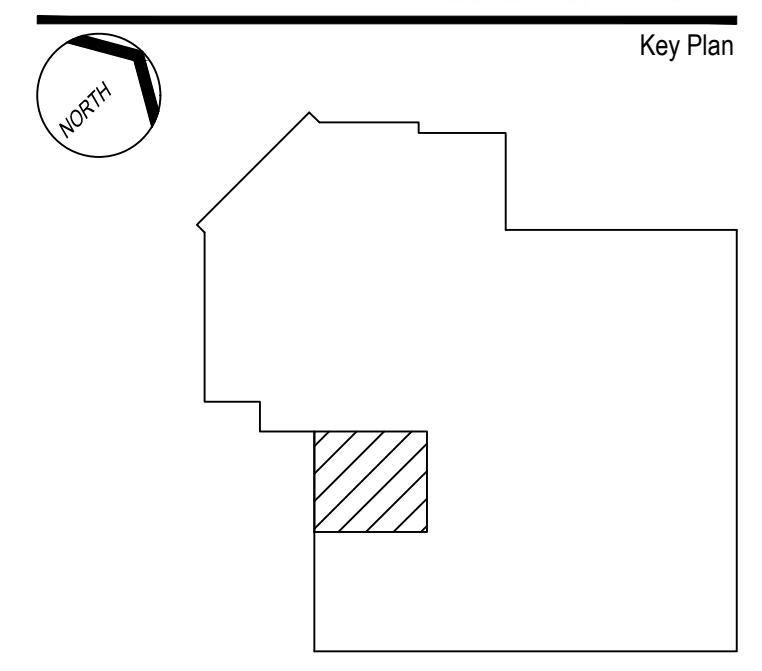


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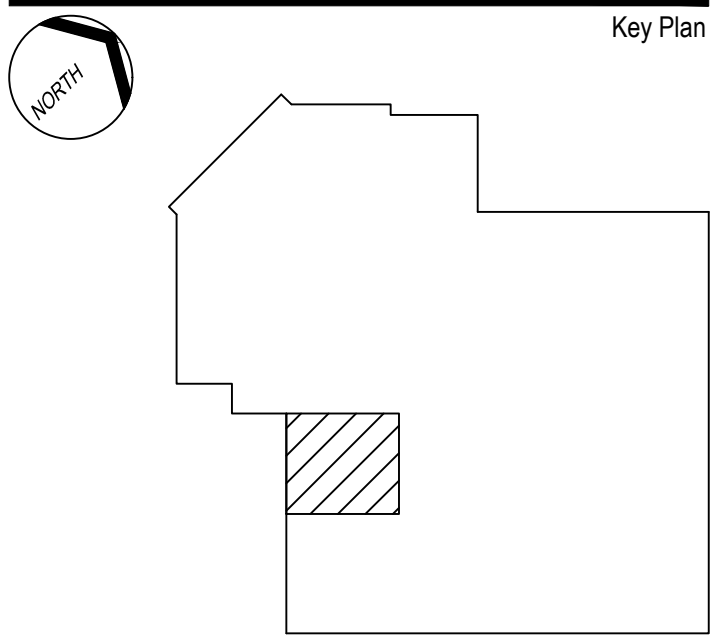


Project Title

Van Buren Public Schools  
**Savage & Tyler Elementary Schools Secured Entry Renovations**

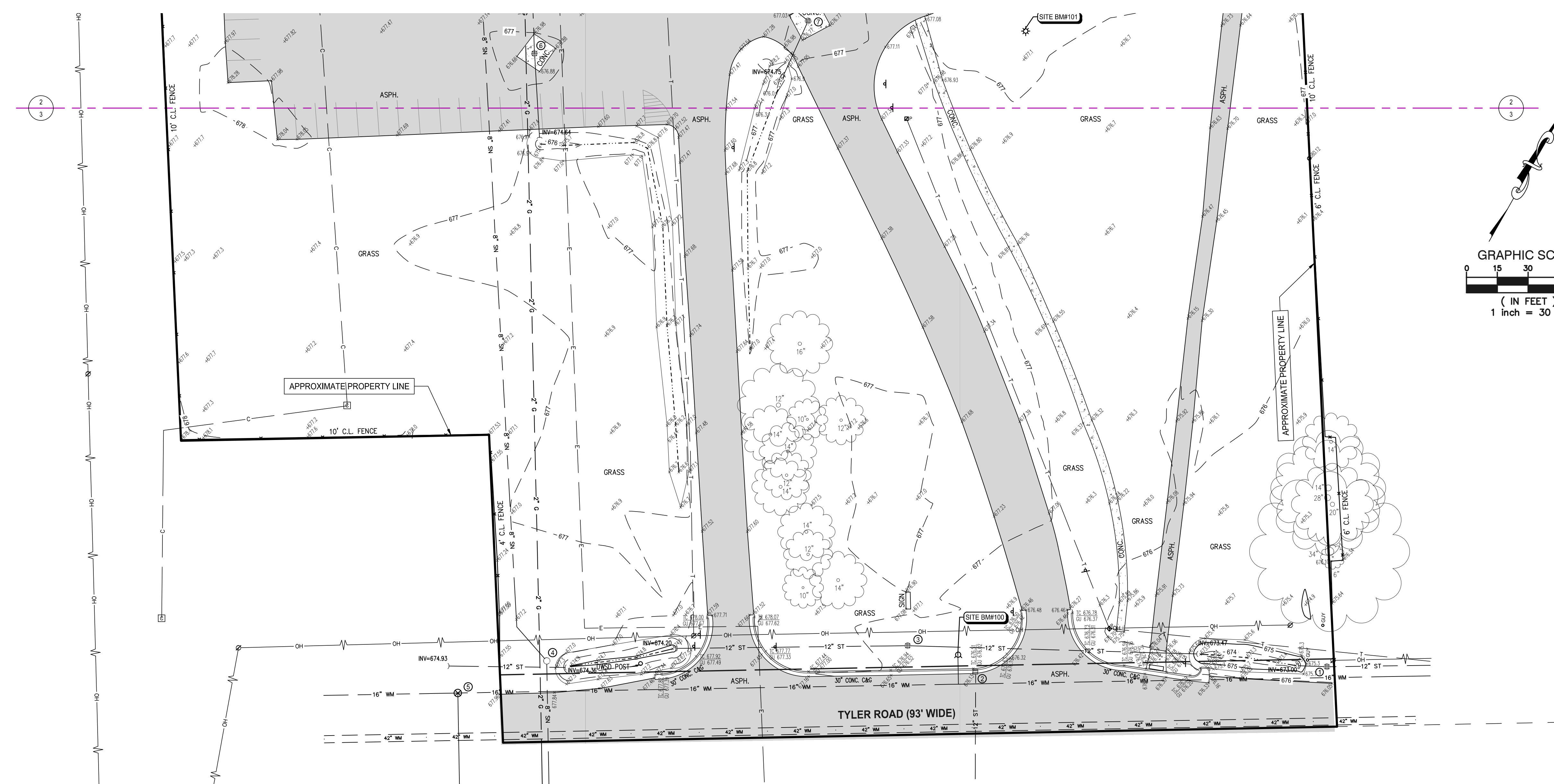


Project Administrator	A. Maurer
Project Designer	J. Ensley
Project Architect / Engineer	J. Ensley
Drawn By	C. Yang
Q.M. Review	J. Ensley
Approved	J. Ensley
Drawing Scale	As Noted
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**STRUCTURE TABLE**

THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES, DIRECTIONS AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN CONNECTIONS, SUMPS AND / OR PIPES THAT ARE FILLED WITH DEBRIS. IT WILL BE UP TO THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF FURTHER INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.

#	TYPE	RM	SIZE	MTRL	INVERT	DIRECTION	CONNECT
1	BEE-HIVE CATCH BASIN	675.25	12"	RCP	672.95	EAST	ES
			12"	RCP	672.95	WEST	ES
2	SQUARE CATCH BASIN	676.08	12"	RCP	672.92	SOUTH	
	TOP / WATER	672.96					
3	BEE-HIVE CATCH BASIN	676.37	12"	RCP	673.97	WEST	ES
			12"	RCP	673.97	EAST	ES
4	SANITARY MANHOLE	677.52	8"	CLAY	670.22	NW	11
			8"	CLAY	670.17	SOUTH	
5	GATE VALVE & WELL	677.93					
	TEE 16" E-W 12" S						
	TOP / PIPE	672.38				E / W / S	
6	ROUND CATCH BASIN	676.52	12"	RCP	674.57	SOUTH	ES
			8"	PVC	674.57	NORTH	
7	ROUND CATCH BASIN	676.51	12"	RCP	674.40	SSW	ES
			12"	RCP	674.40	NW	8
8	ROUND CATCH BASIN	677.01	12"	RCP	674.46	NW	9
			12"	RCP	674.51	SE	7
9	ROUND CATCH BASIN	677.83	12"	RCP	674.03	NRW	
			12"	RCP	674.11	SE	8
			10"	CLAY	674.09	SOUTH	
			8"	CLAY	674.09	SW	10
10	ROUND CATCH BASIN	677.11	8"	CLAY	674.76	NNE	9
11	SANITARY MANHOLE	675.25	6"	CLAY	673.80	EAST	BLDG
			8"	CLAY	673.25	SOUTH	4
12	BEE-HIVE CATCH BASIN	677.56	6"	CPP	675.76	NORTH	
	UNABLE TO OPEN CHAINED DOWN		6"	CLAY	675.14	SOUTH	
	TOP / DEBRIS	675.26					

# TYLER ELEMENTARY SCHOOL

#42200 TYLER ROAD  
? STORY ? BLDG.

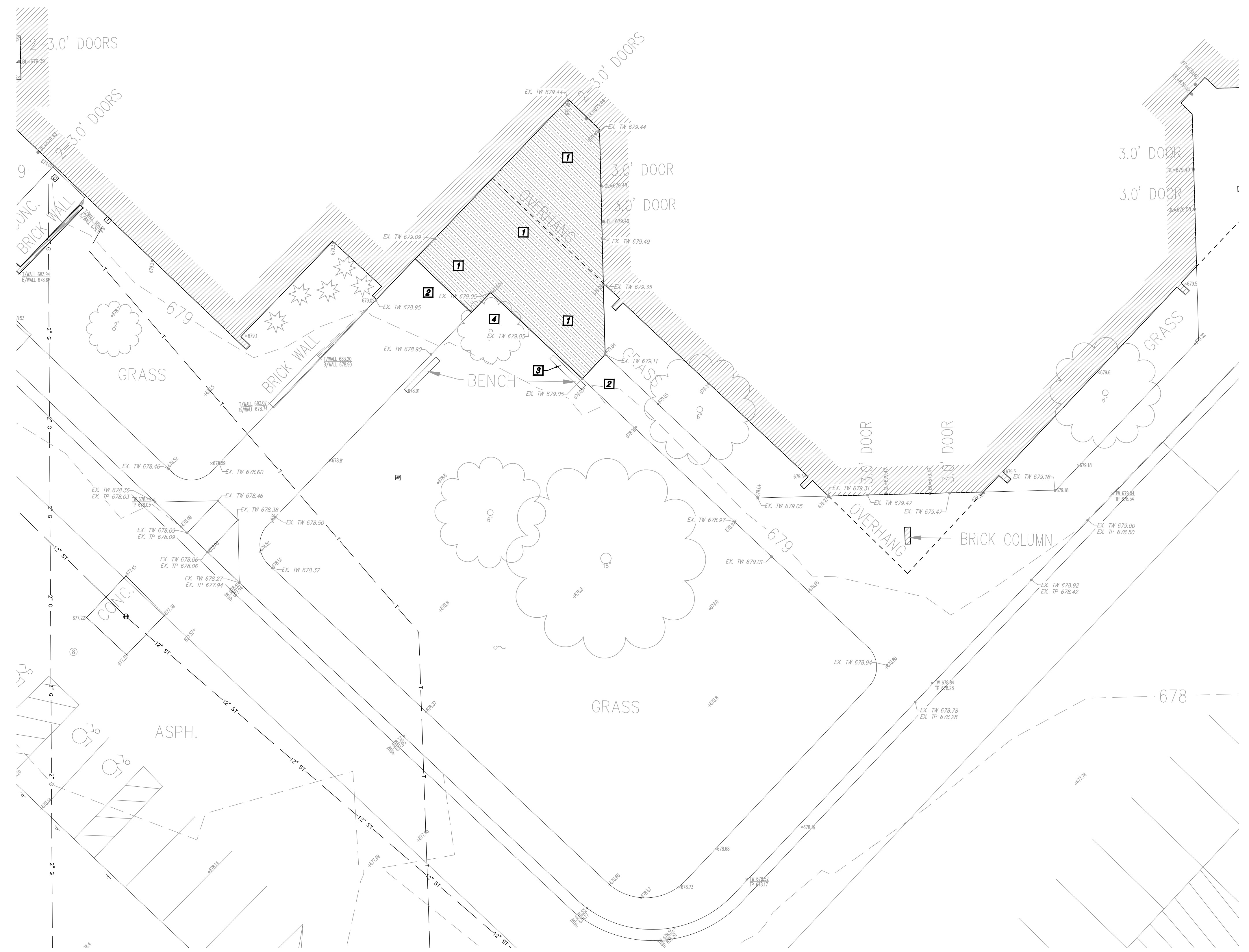
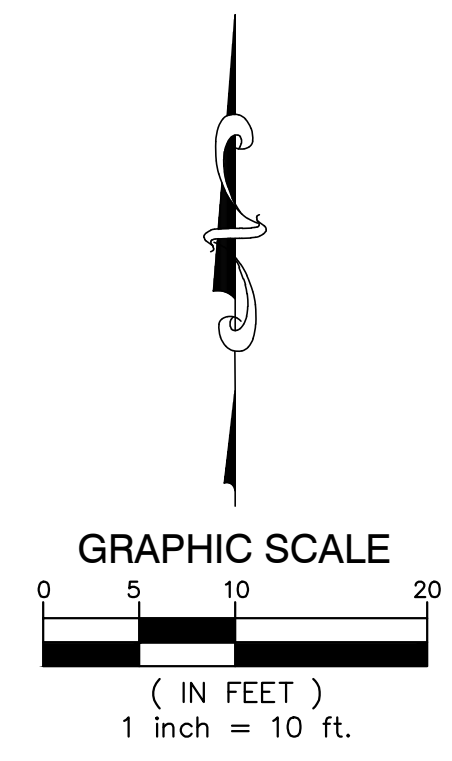
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**STRUCTURAL ENGINEER**  
SDI Structures  
275 east liberty  
ann arbor, michigan 48101  
734.213.6091  
www.sdistructures.com



**DEMOLITION NOTES**

- 1** REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.
- 2** PROTECT EXISTING CONCRETE WALK TO REMAIN.
- 3** PROTECT EXISTING BENCH TO REMAIN.
- 4** PROTECT EXISTING TREE TO REMAIN.

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

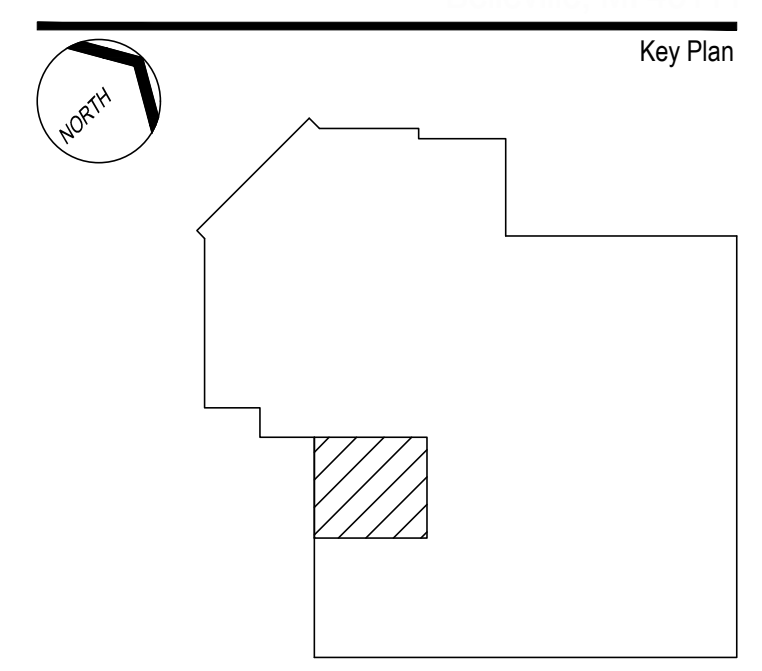
CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

**BASE FILE DISCLAIMER**

TOPOGRAPHICAL SURVEY HAS BEEN COMBINED WITH PROPOSED DESIGN INFORMATION FROM PREVIOUS CONCRETE SIDEWALK REPLACEMENT PROJECT TO CREATE CURRENT BASE FILE. INCLUDING EXISTING GRADE INFORMATION. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO START OF WORK AND NOTIFY ENGINEER OF ANY ISSUES.

Project Title

Van Buren Public Schools  
**Savage & Tyler Elementary Schools Secured Entry Renovations**



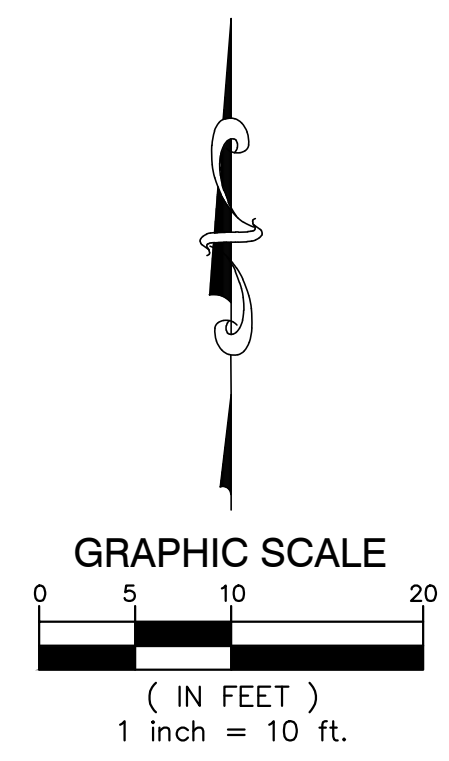
Project Administrator	A. Maurer
Project Designer	J. Ensley
Project Architect / Engineer	J. Ensley
Drawn By	C. Yang
Q.M. Review	J. Ensley
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Drawing Scale	As Noted
Issue Date	06-24-2024
Design Development	08-23-2024
Quality Management Review	09-13-2024
Bids	



# TYLER ELEMENTARY SCHOOL

#42200 TYLER ROAD  
? STORY ? BLDG.

TAX PARCEL No.  
830044990001005



GRADING LEGEND	
	EXISTING ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED GAS MAIN
	PROPOSED HYDRANT
	PROPOSED GATE VALVE & WELL (GVW)
	PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)
	PROPOSED ELECTRIC
	PROPOSED END SECTION (ES)
	PROPOSED FIELD CATCH BASIN (FCB) W/REINFORCED COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
	PROPOSED SAN MANHOLE (SAN)
	PROPOSED STORM MANHOLE (MH)
	PROPOSED CATCH BASIN (CB)
	PROPOSED INLET (INL)
	PROPOSED WIRE ROPE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
	UTILITY CROSSING (SEE DATA TABLE)
	STRUCT. TYPE
	STRUCT. NO.
	STRUCT. NO.
	STRUCT. TYPE

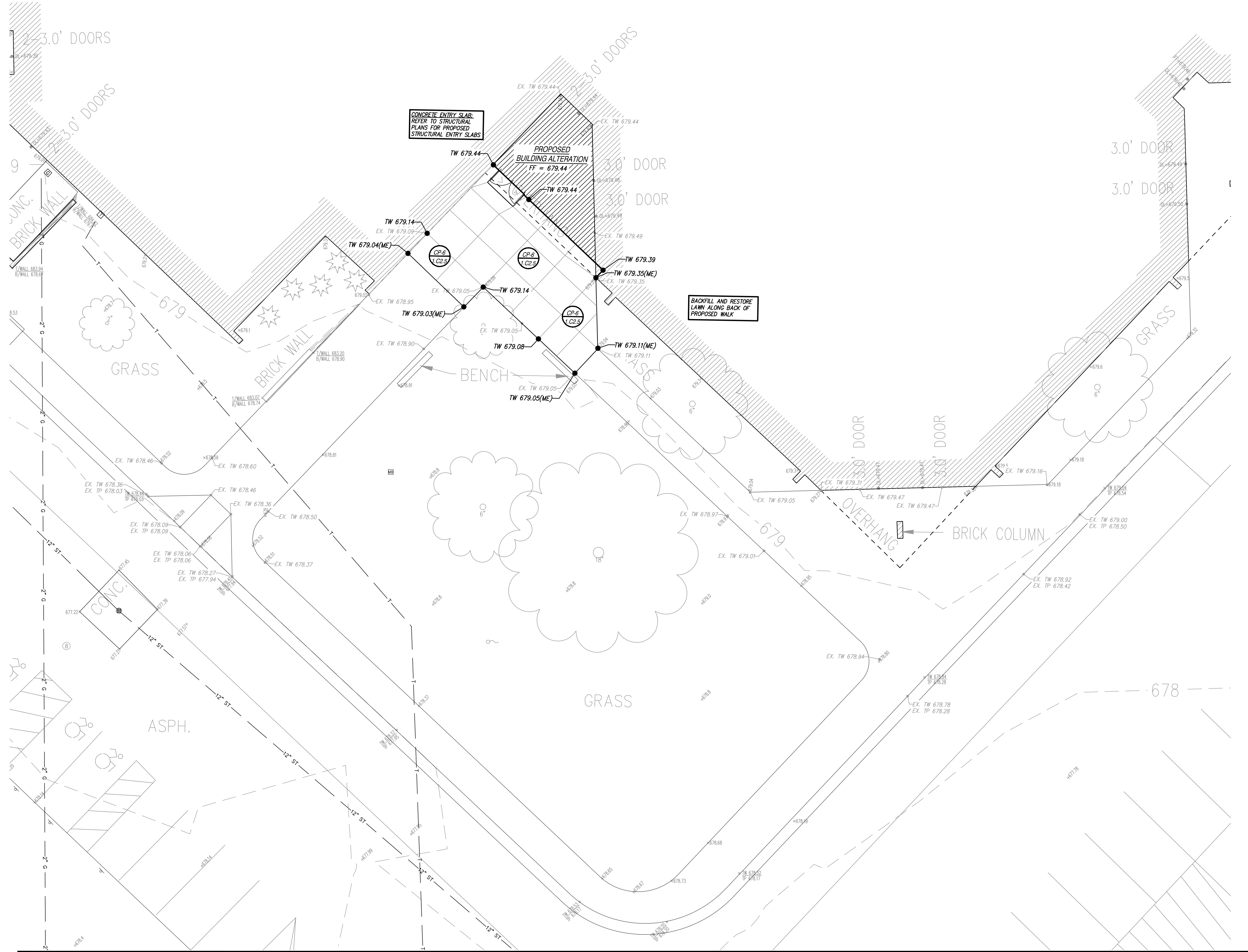
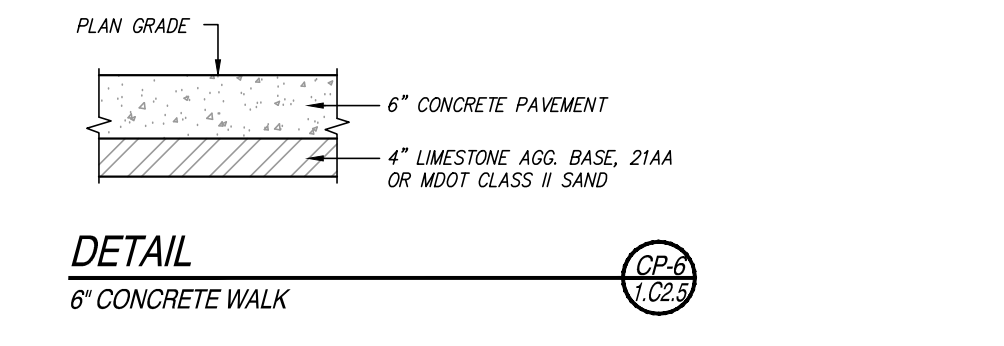
LEGEND	
	PROPOSED WATERMAIN
	PROPOSED SANITARY
	PROPOSED STORM SEWER
	PROPOSED GAS MAIN
	PROPOSED HYDRANT
	PROPOSED GATE VALVE & WELL (GVW)
	PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)
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	UTILITY CROSSING (SEE DATA TABLE)
	STRUCT. TYPE
	STRUCT. NO.
	STRUCT. NO.
	STRUCT. TYPE

- ### PAVING CONSTRUCTION NOTES
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING NOTES.
  - REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE. SOIL TREE ROOTS SHALL BE COMPLETELY REMOVED.
  - EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
  - THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
  - THE FINAL SUBGRADE SHALL BE THOROUGHLY PROPTROLLED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR HEAVING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
  - THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
  - CONTRACTOR SHALL PROTECT EXISTING CURBS, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
  - PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ADJUT BUILDING WALLS (PROPOSED OR EXISTING), COLUMN WALLS OR BASES, CONCRETE FOUNDATIONS OR BASES, CURBS, OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
  - CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOOLED WHERE SIDEWALK WIDTH IS 8' OR LESS, AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8' SPACING FOR 8' WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 50' SPACING. CONTRACTOR SHALL GENERALLY MATCH THE JOINT PATTERNS FOR CONCRETE PAVEMENT WHEN SHOWN ON THE PLANS.
  - CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR MOOT GRADE 4000 CONCRETE PER THE CURRENT MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

- ### GRADING NOTES
- CONTRACTOR TO PLACE ALL NEW PAVEMENT TO THE GRADES INDICATED, OR MATCH ORIGINAL GRADES IF NEW GRADES ARE NOT SHOWN. CONTRACTOR SHALL CONFIRM MINIMUM 1% PAVEMENT SLOPES ARE ATTAINED IN ALL AREAS.
  - PROPOSED GRADES MAY BE BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND COULD DIFFER SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL CONFIRM THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1%) OR AN UNDESIRABLE CONDITION WITH SLOPES IN EXCESS OF 5%. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.
  - ALL PAVEMENT PLACED WITHIN BARRIER FREE PARKING AREAS (STALLS AND ACCESS AISLES) SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, INCLUDING MEASURED DIAGONALLY ACROSS THE AREAS. CONTRACTOR SHALL ADJUST SLOPES AS NECESSARY TO PROVIDE ADA COMPLIANT SLOPES AS WELL AS PROVIDING RE-GRADED TRANSITION SLOPES OUTSIDE OF THE BARRIER FREE PARKING AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF TRANSITION ZONES WILL EXCEED MAXIMUM 2% SLOPES. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE PATTERNS WITH ALL NECESSARY PAVEMENT RE-GRADED.
  - ALL BARRIER FREE RAMPS AND ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF MOOT DETAIL R-28 "SIDEWALK RAMP AND DETECTABLE WARNING DETAILS".
  - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

### RESTORATION NOTE

RESTORE ALL DISTURBED NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SEED MIX (30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 50% CREEPING RED FESCUE). PLACE MULCH IN ALL SEEDED AREAS. ON SLOPES IN EXCESS OF 10% HORIZONTAL TO 1 VERTICAL PLACE NORTH AMERICAN GREEN (OSTIA) MULCH PLANET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURERS RECOMMENDATIONS TO HOLD MATING IN PLACE.



# TDS

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Project Title

Van Buren Public Schools  
**Savage & Tyler Elementary Schools Secured Entry Renovations**

Key Plan

Project Administrator  
**A. Maurer**

Project Designer  
**J. Ensley**

Project Architect / Engineer  
**J. Ensley**

Drawn By  
**C. Yang**

Q.M. Review  
**J. Ensley**

Approved  
**J. Ensley**

Drawing Scale  
**As Noted**

Issued for  
Design Development 06-24-2024  
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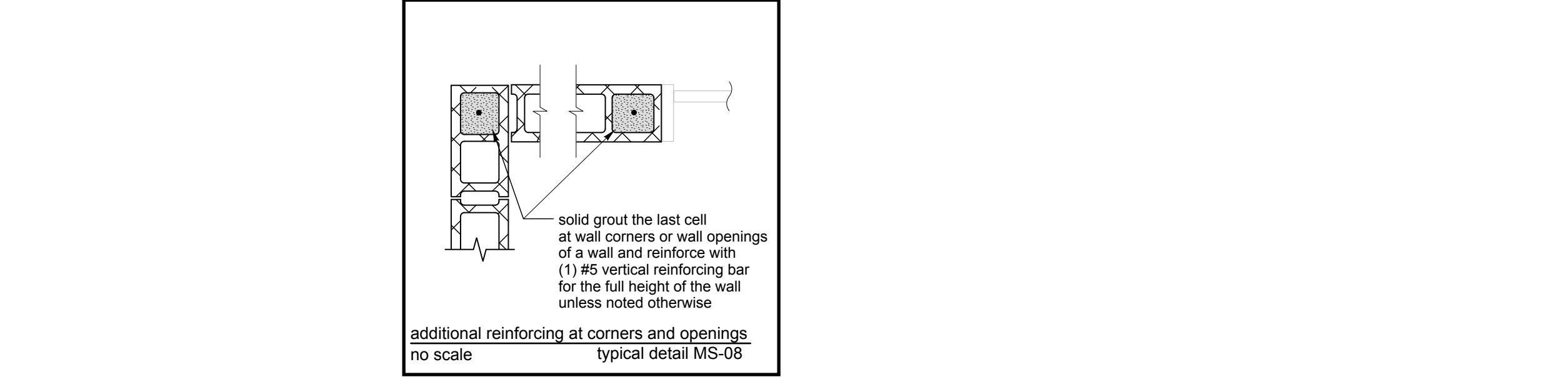
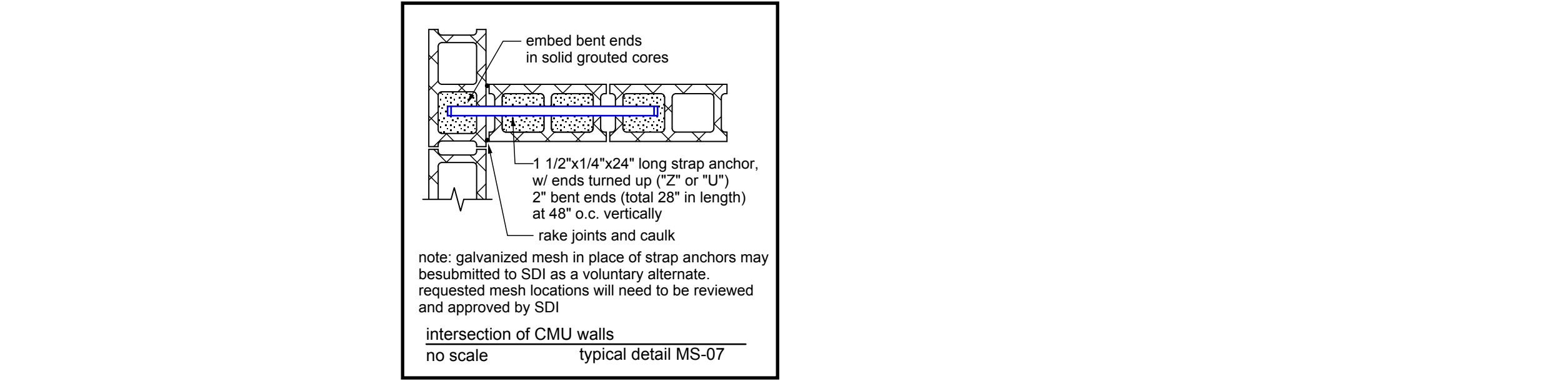
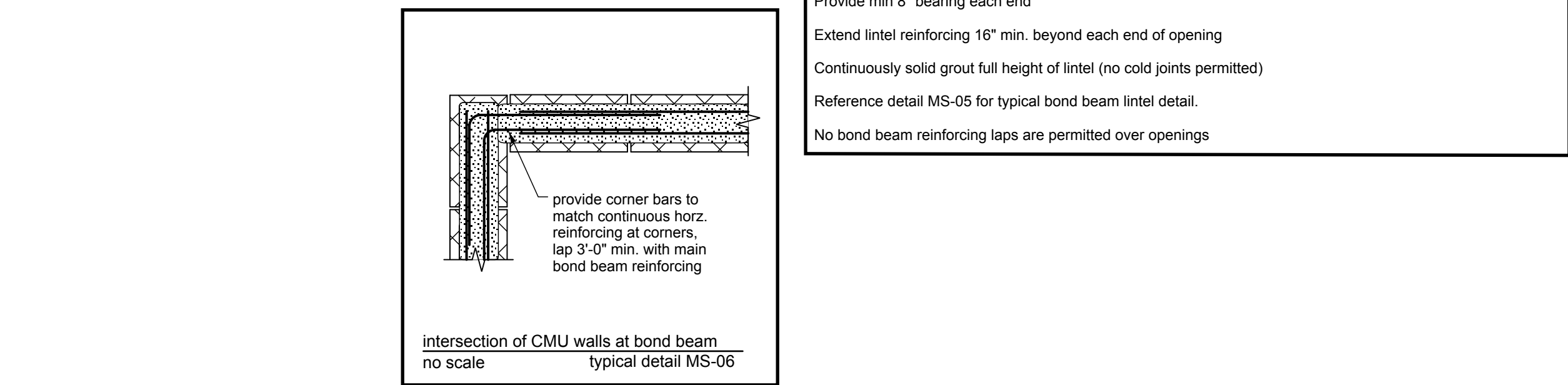
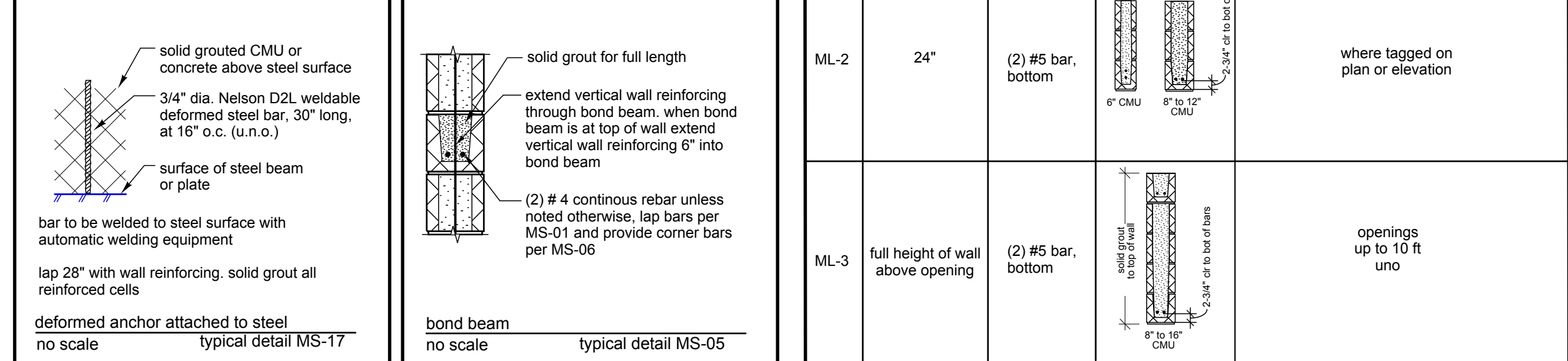
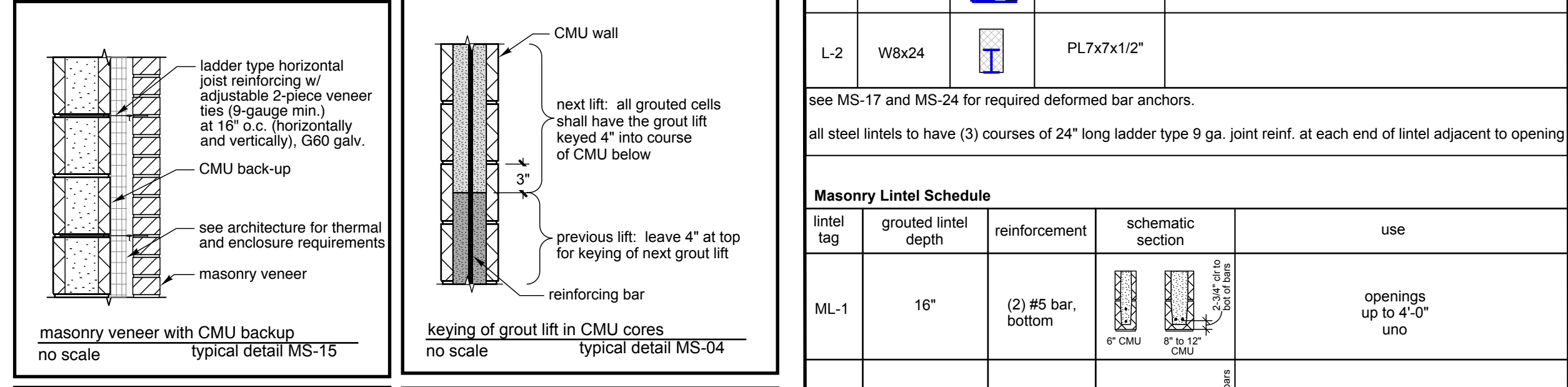
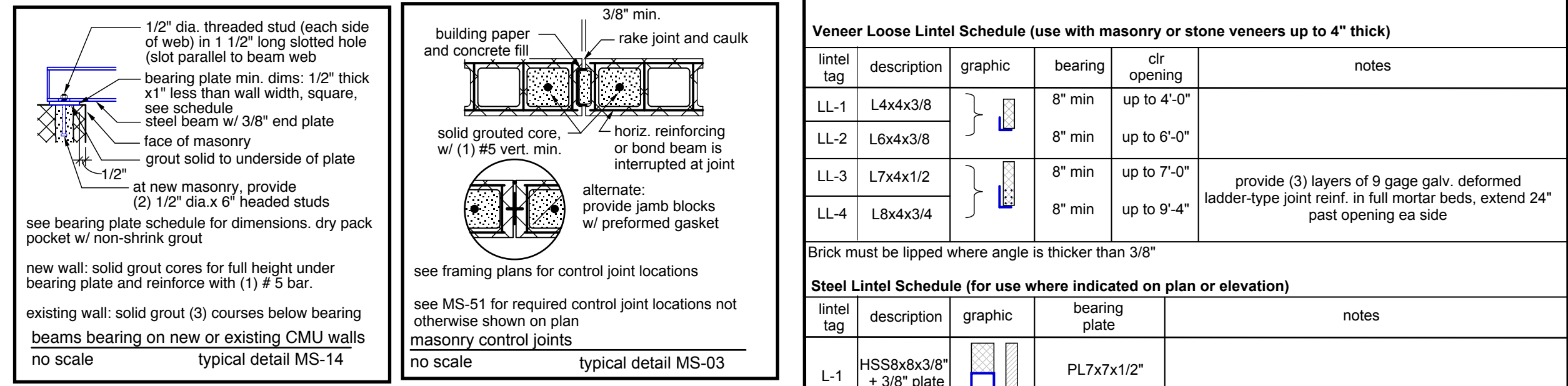
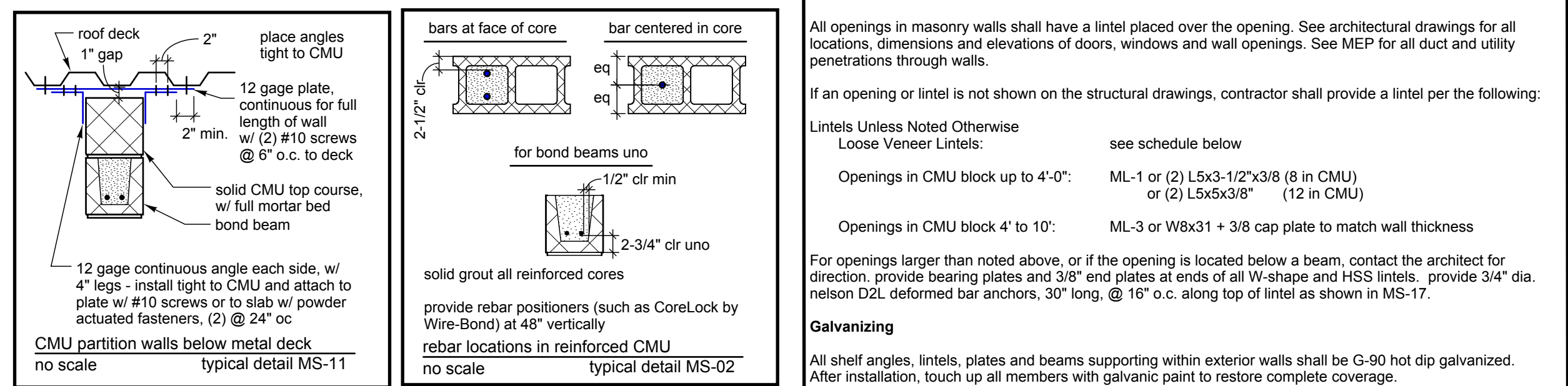
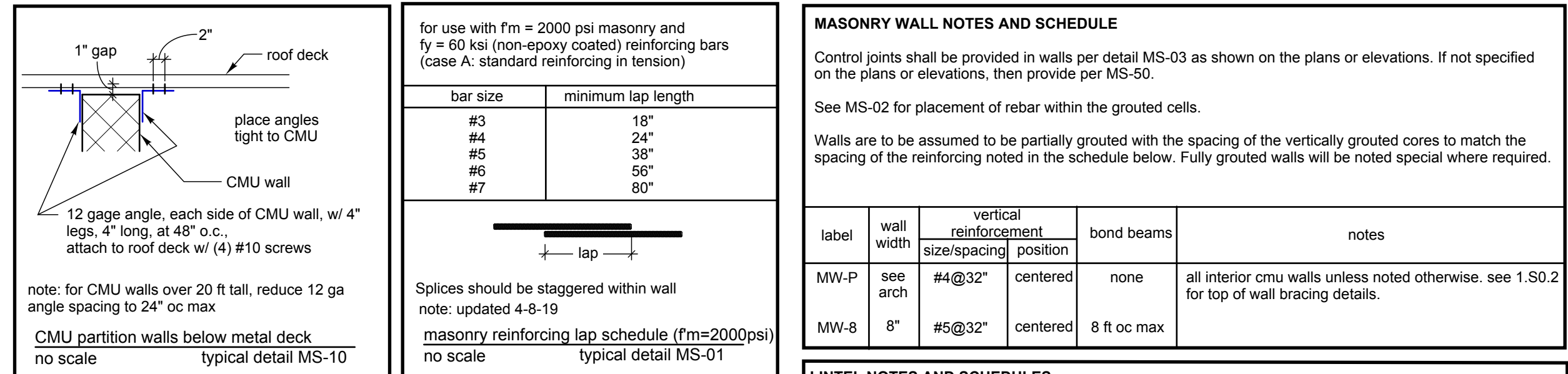
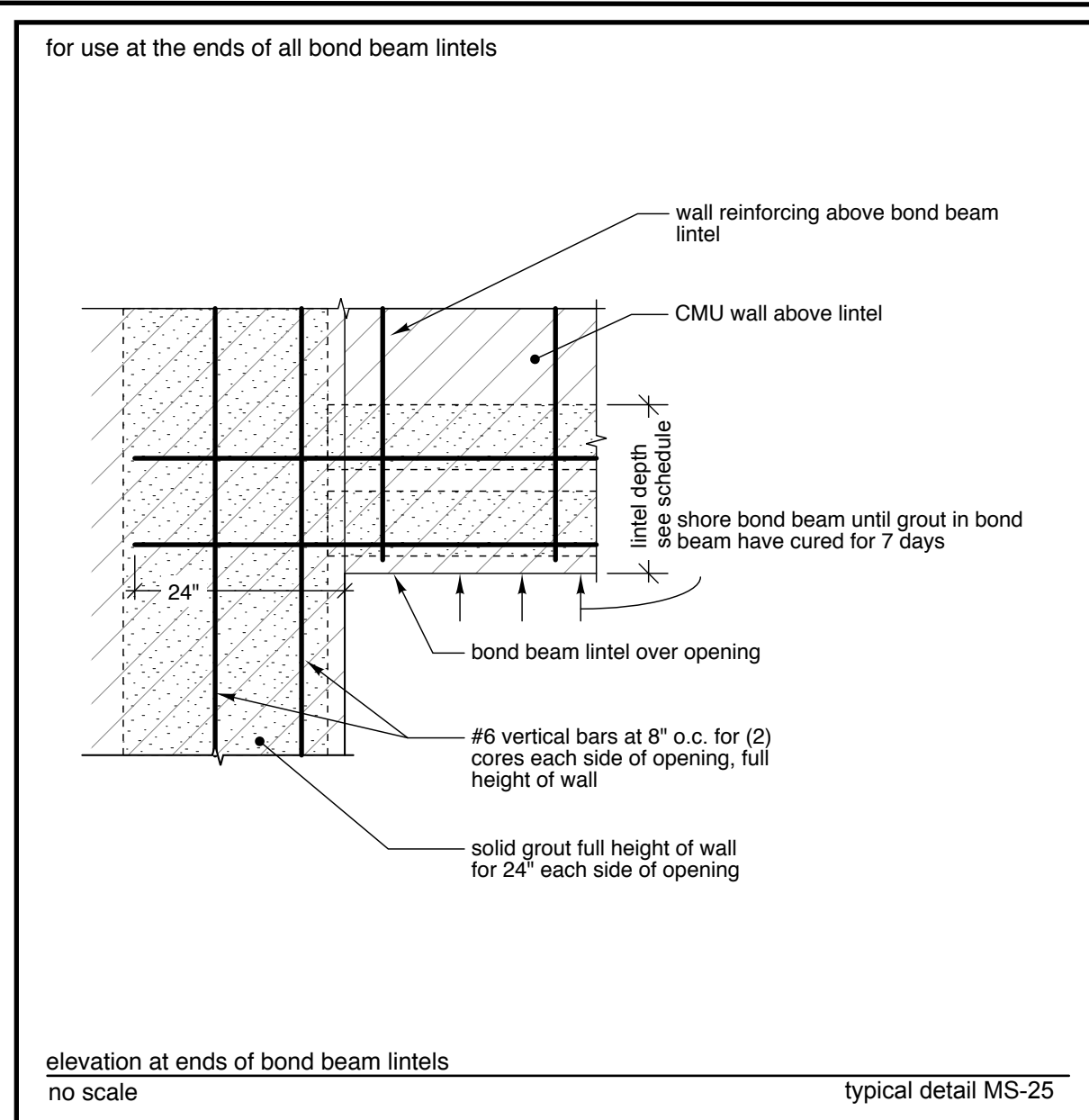
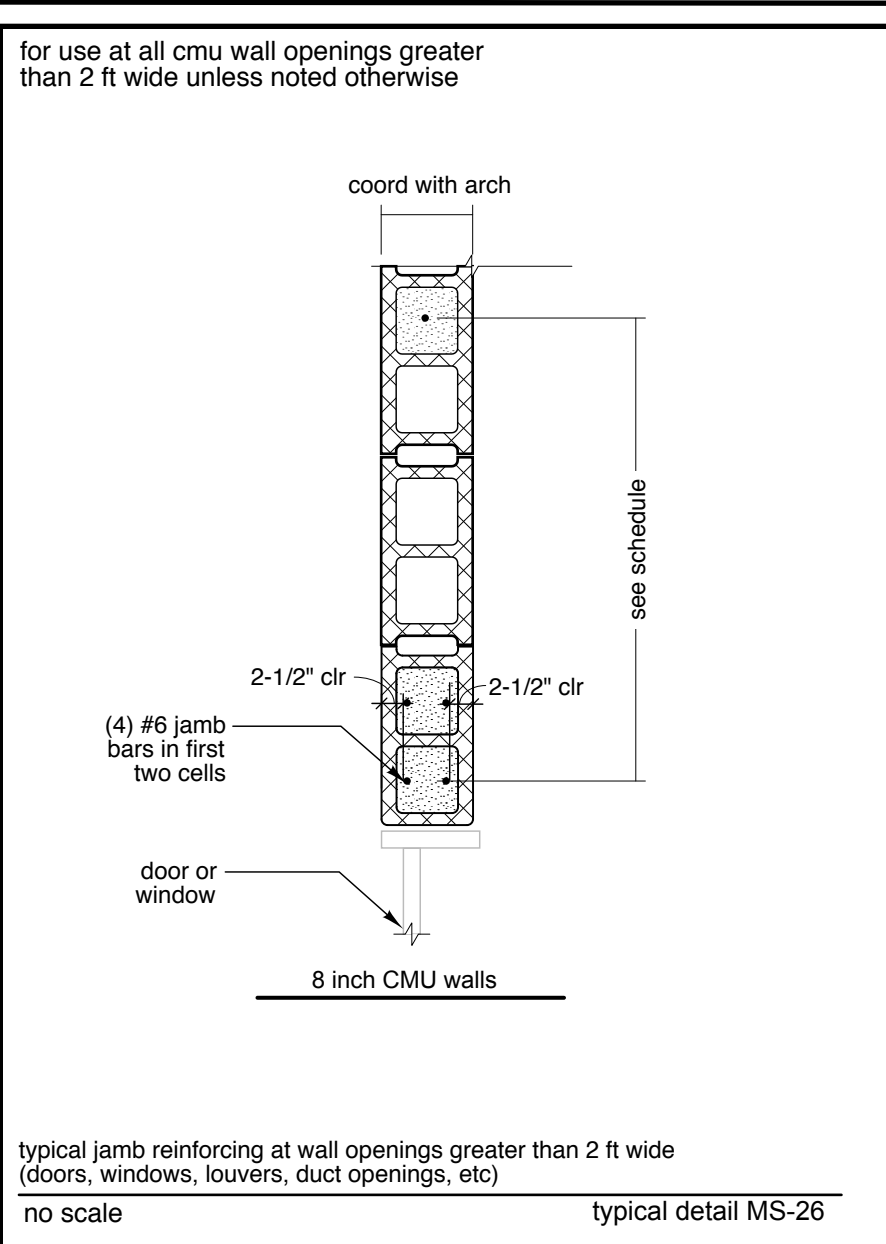
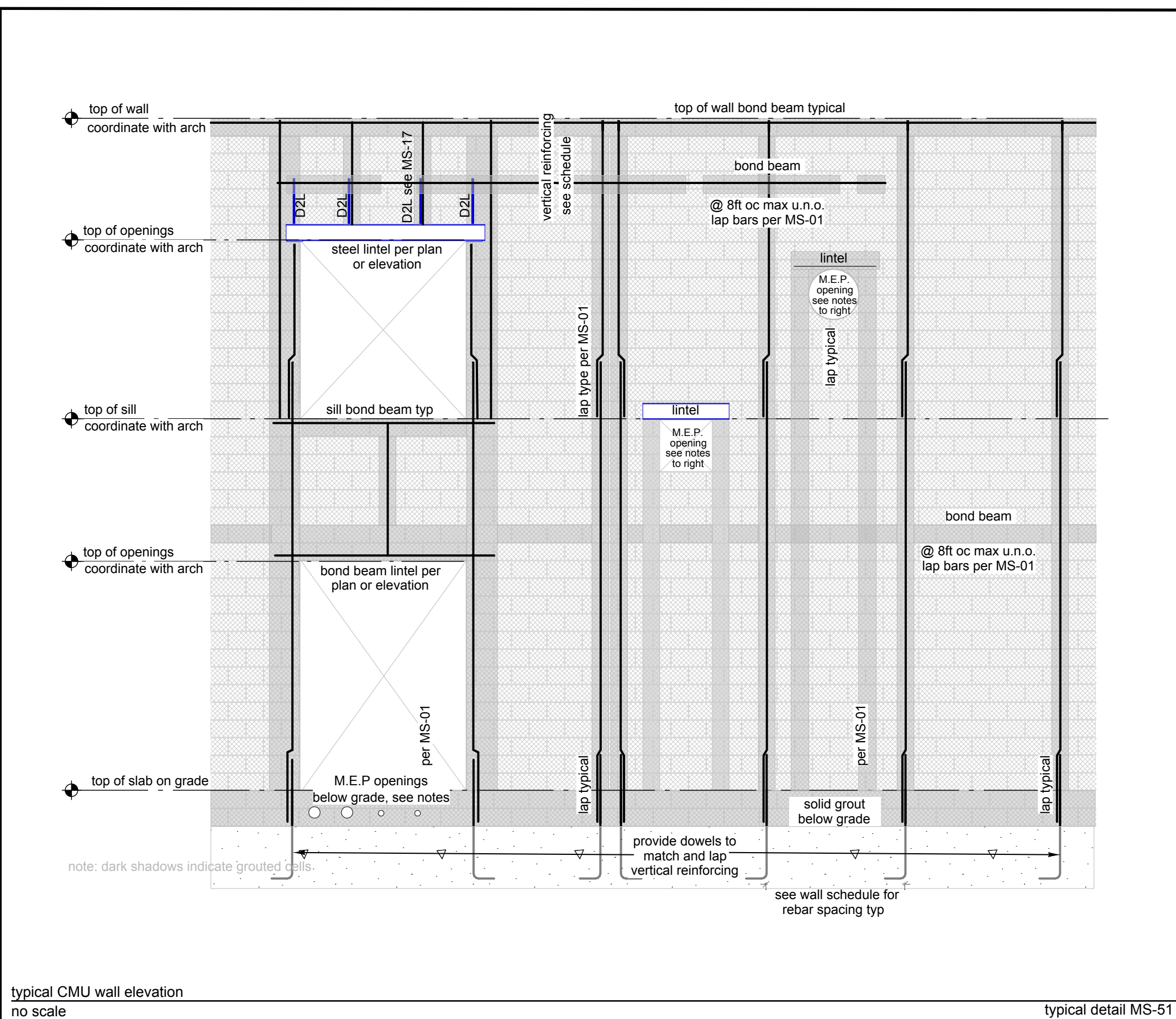
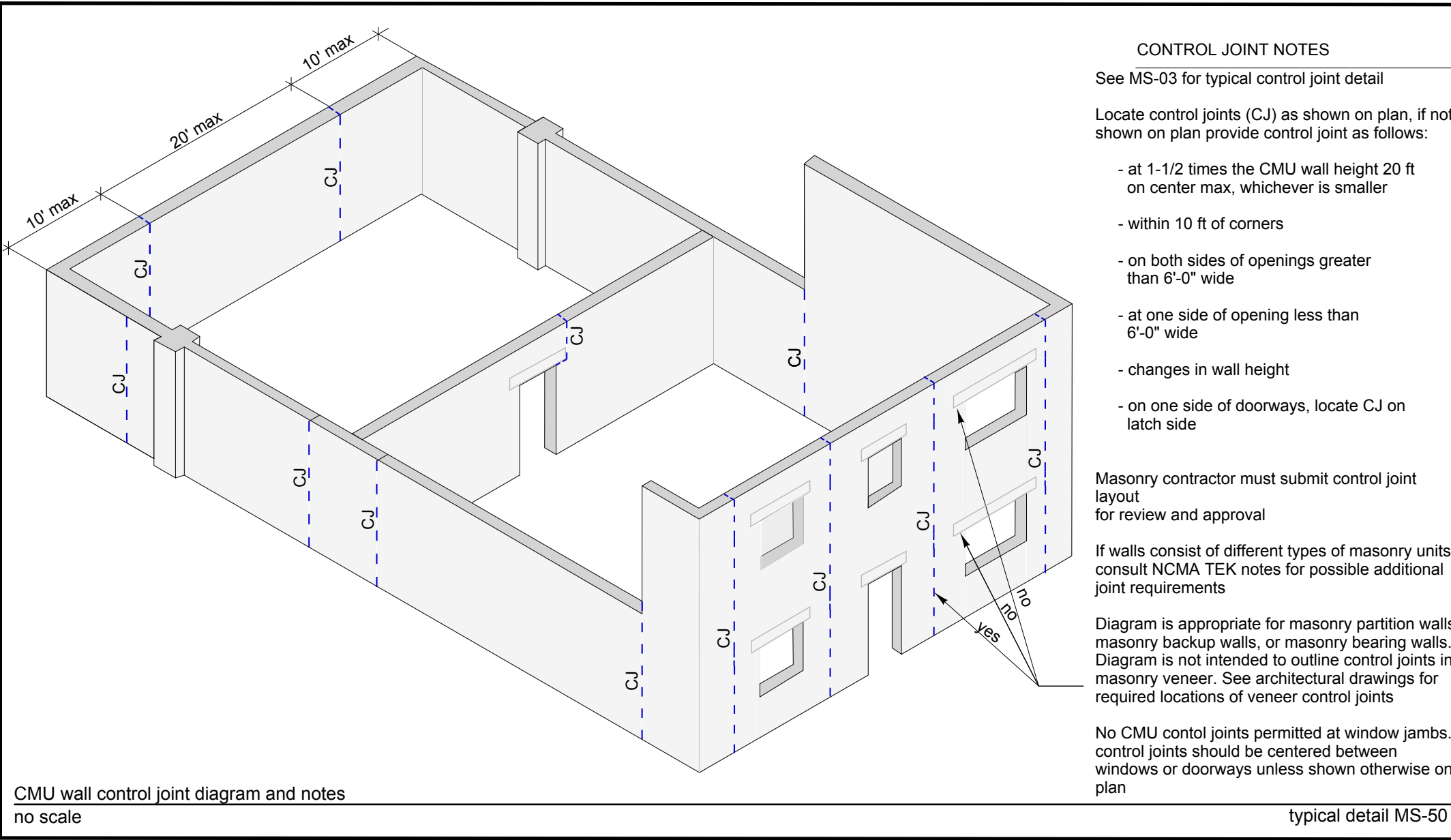
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IDS Drawing Title

Site Engineering Plan  
Tyler

Project Number  
20111-3008  
SDA Project No. NP24096

Drawing Number  
1.C2.5

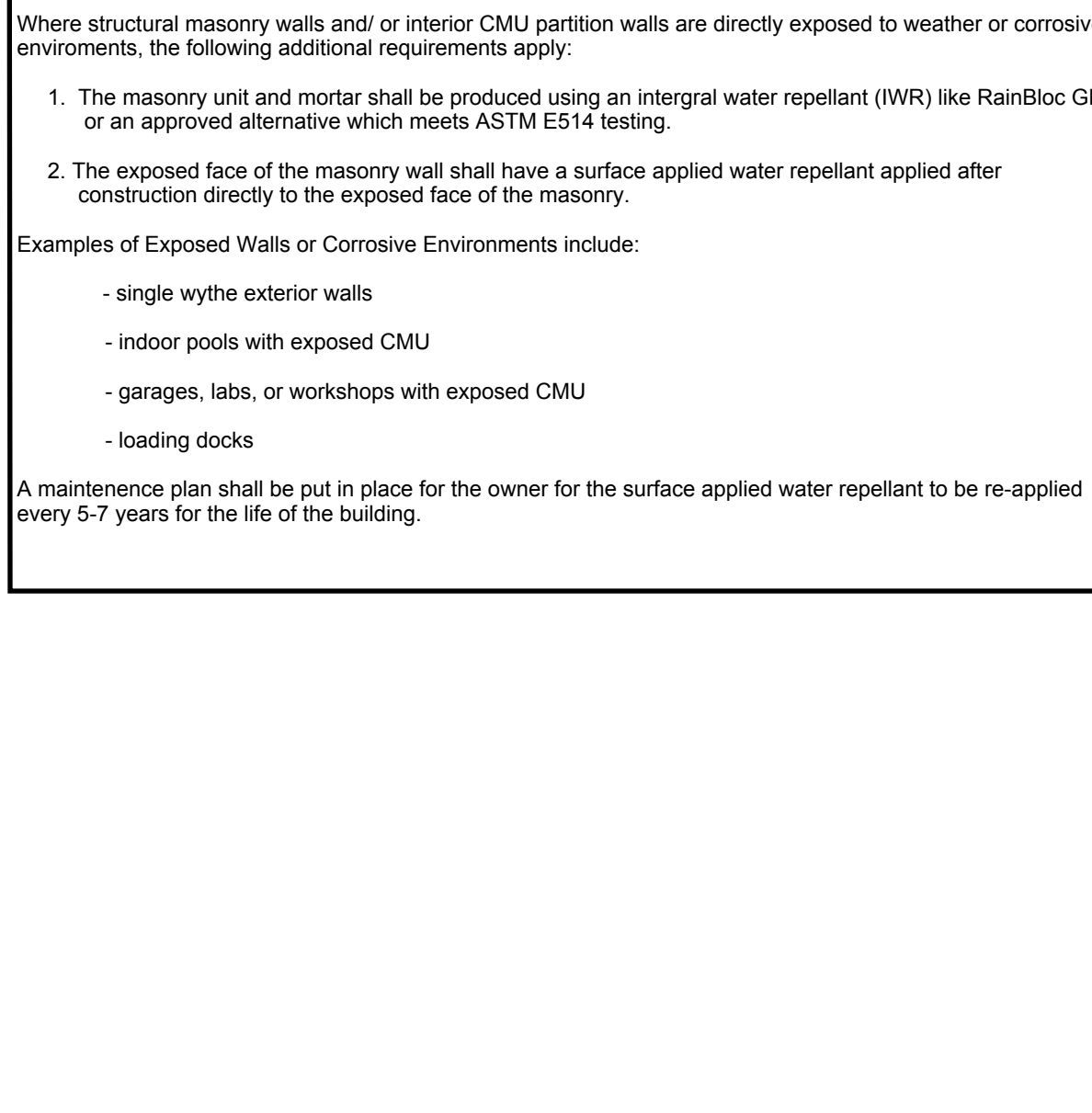
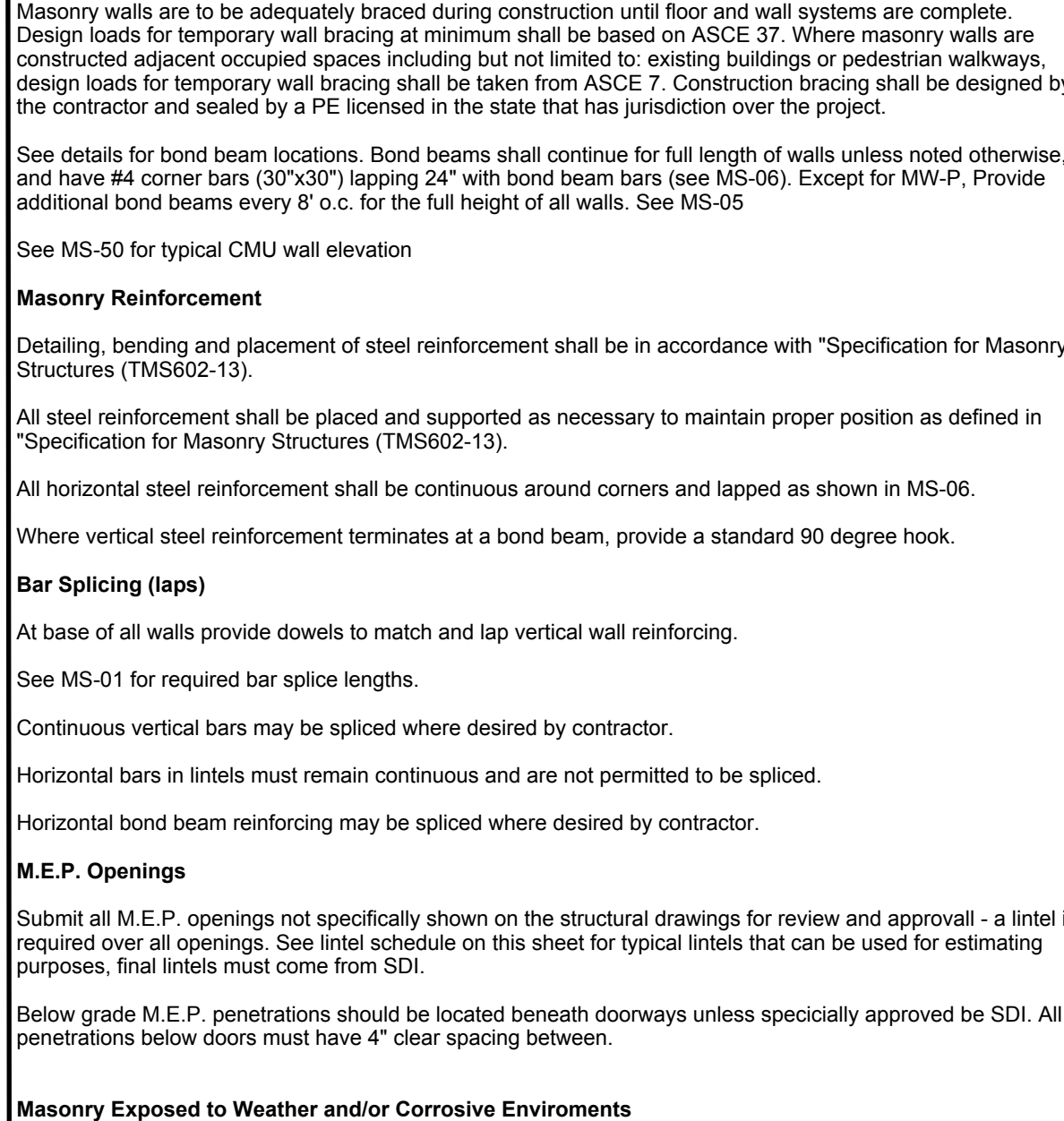
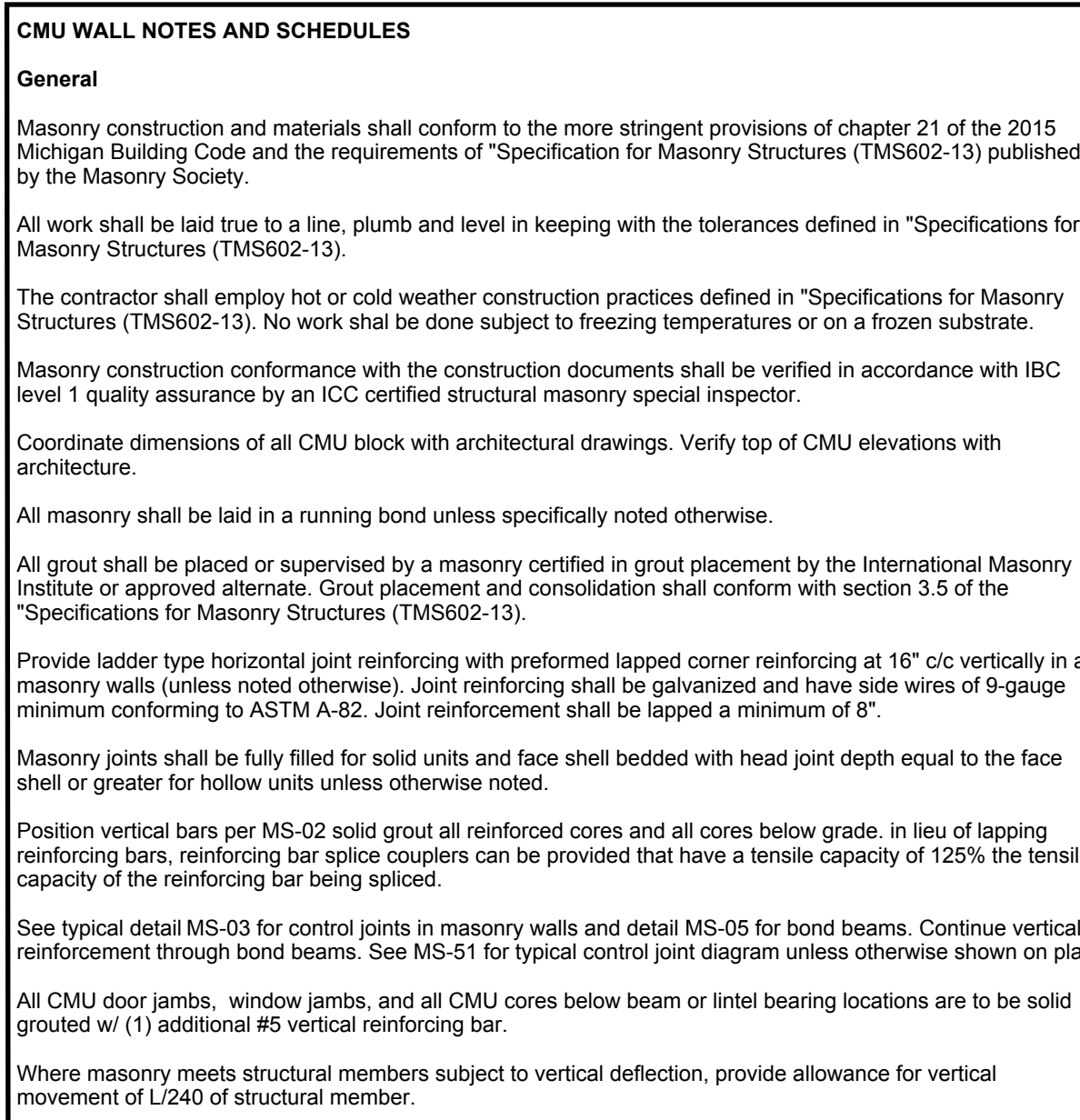
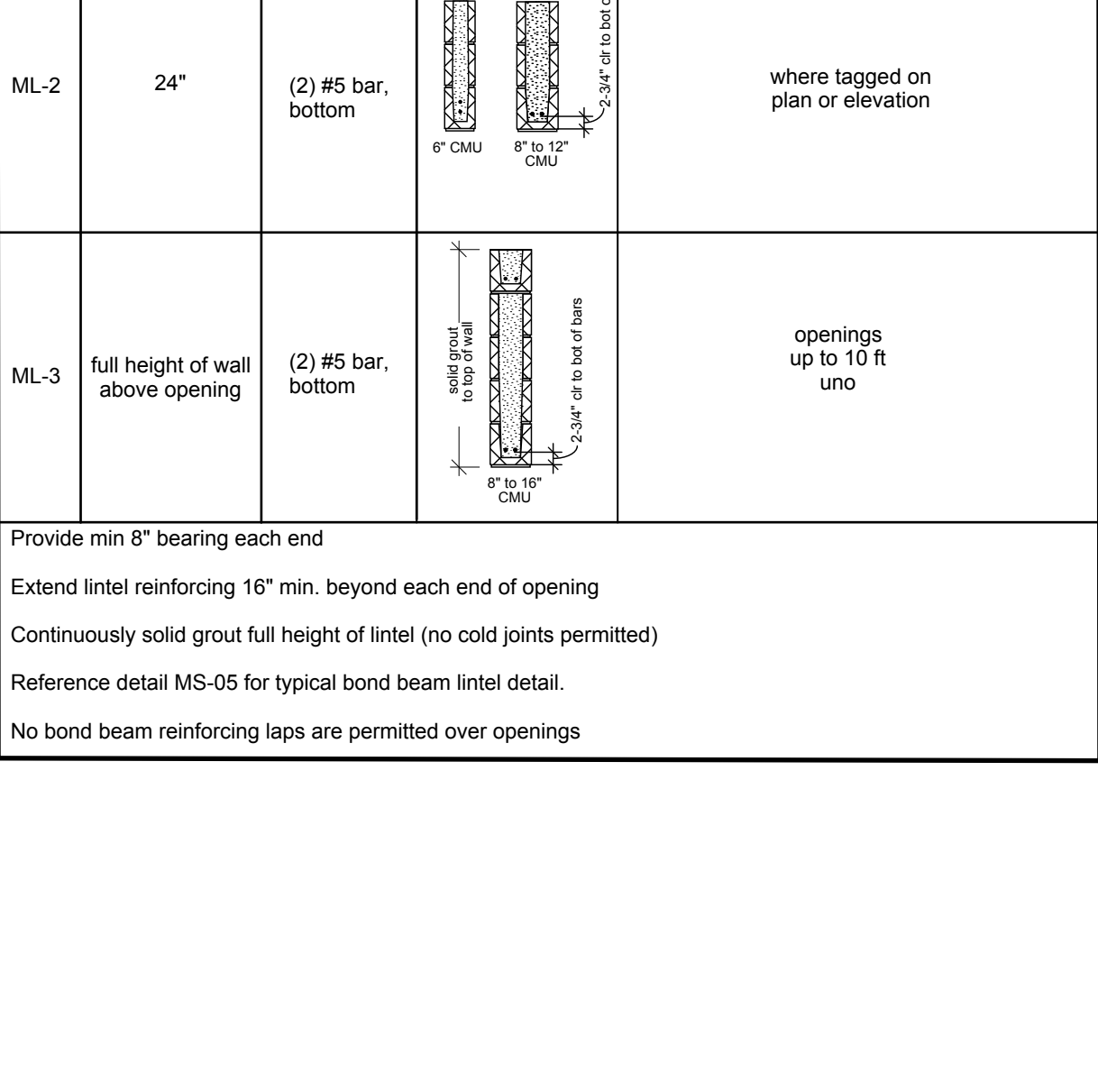
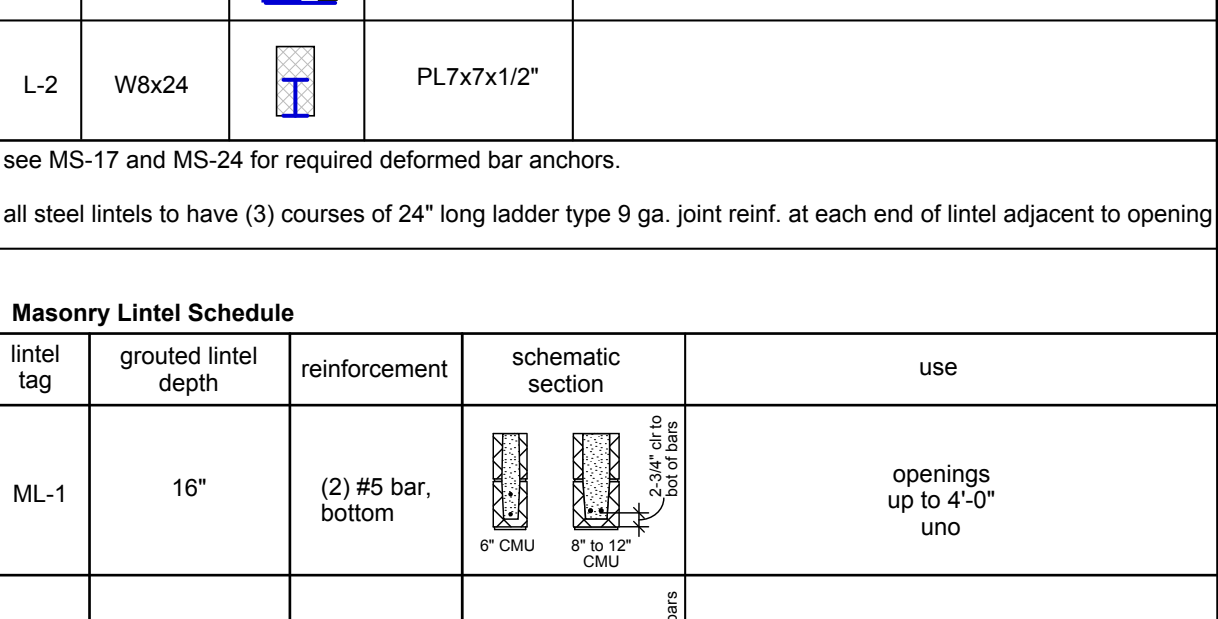
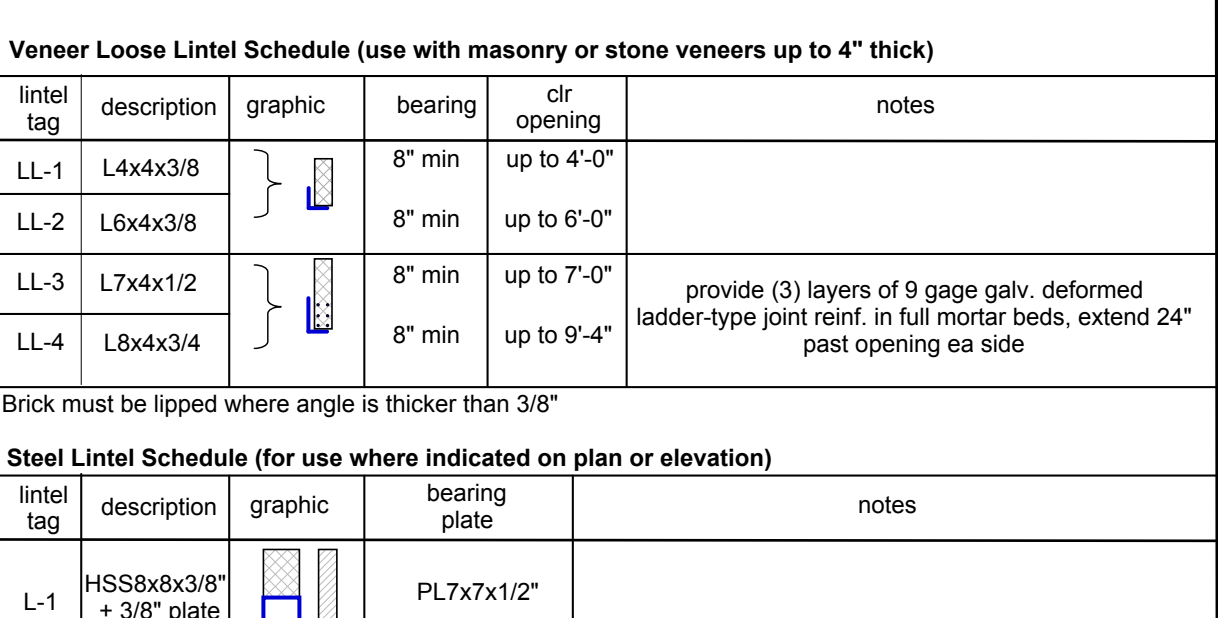
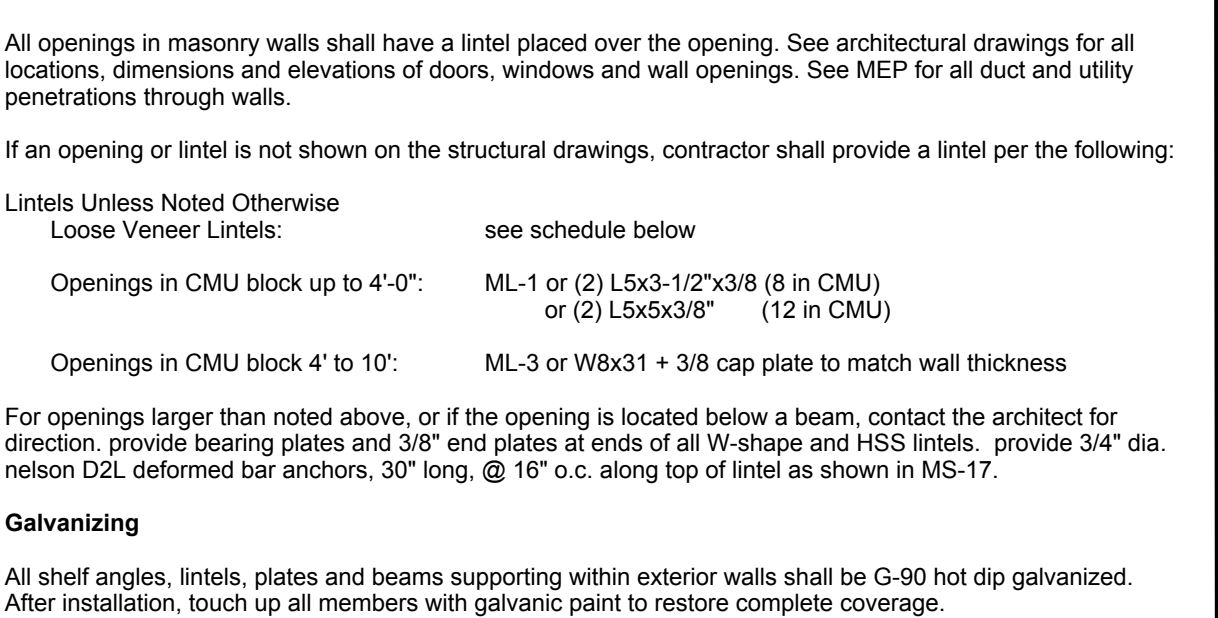
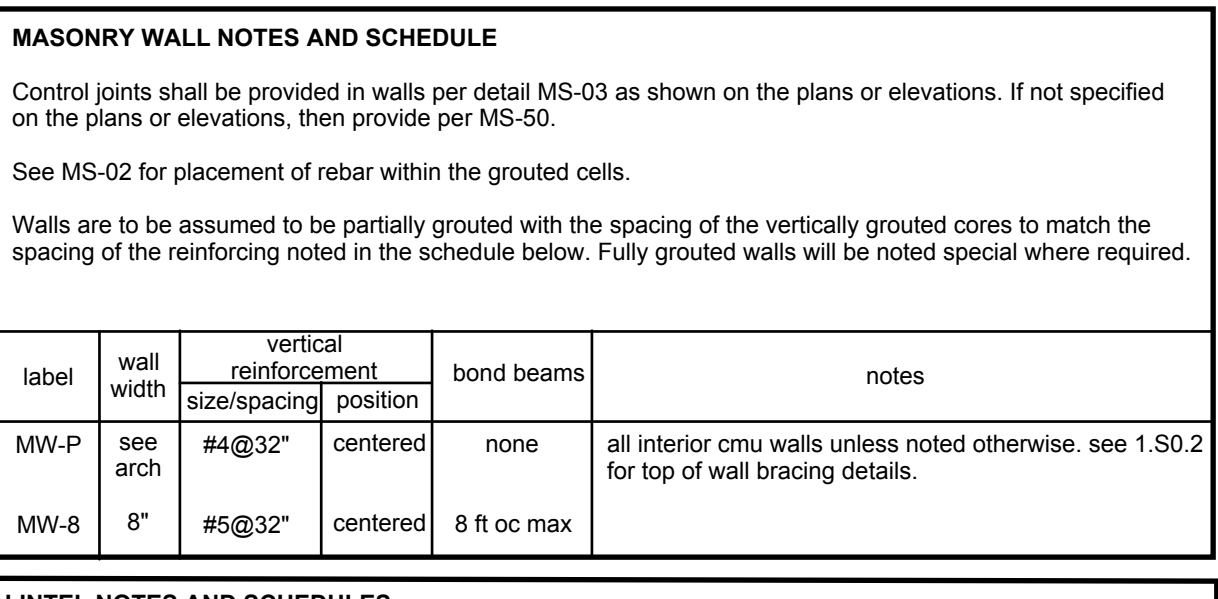




### MASONRY DETAILS

### MASONRY SCHEDULES

### MASONRY NOTES



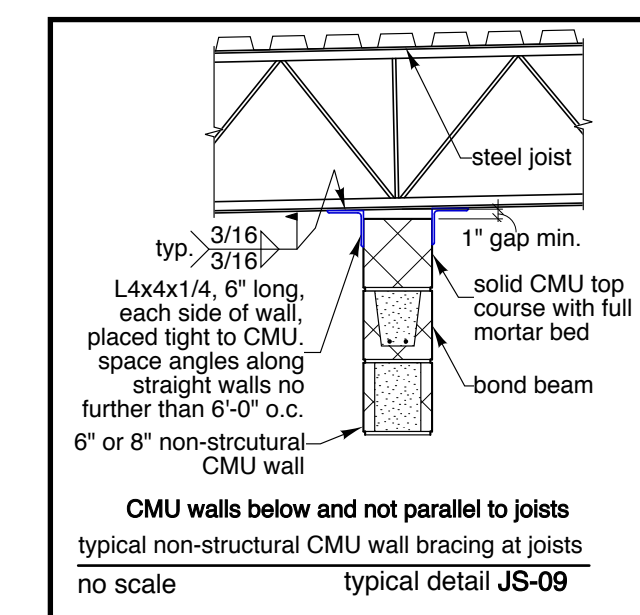
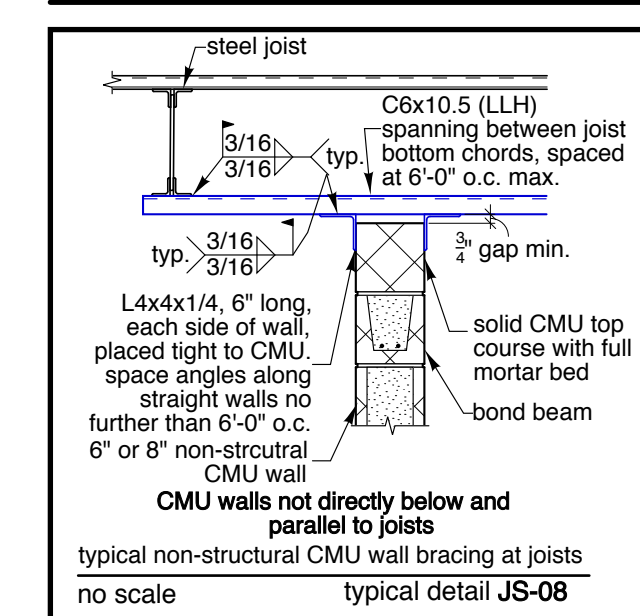
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Project Title  
**Van Buren Public Schools**  
Savage & Tyler Elementary  
Schools Secured Entry  
Renovations  
Key Plan

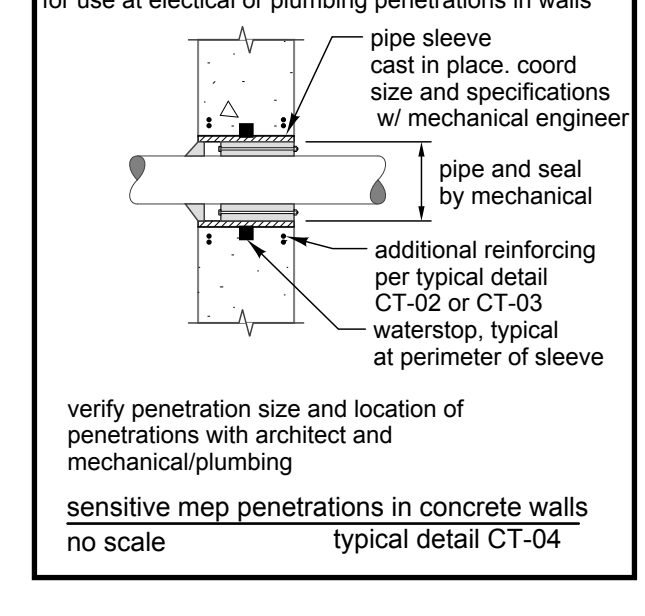
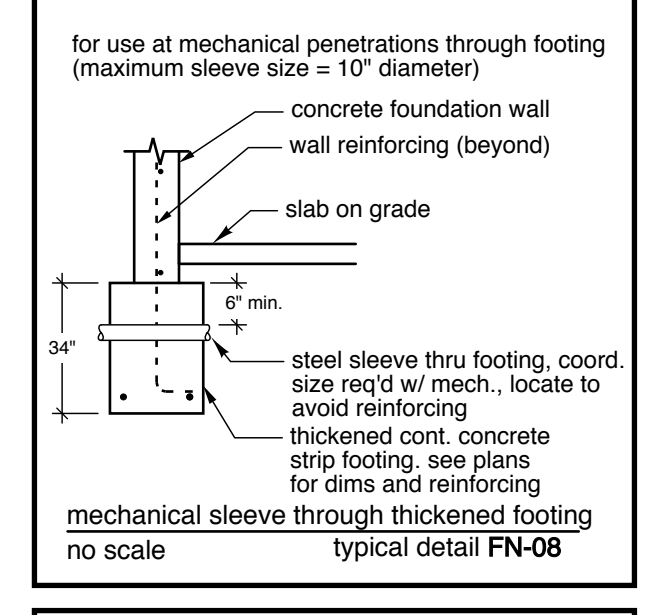
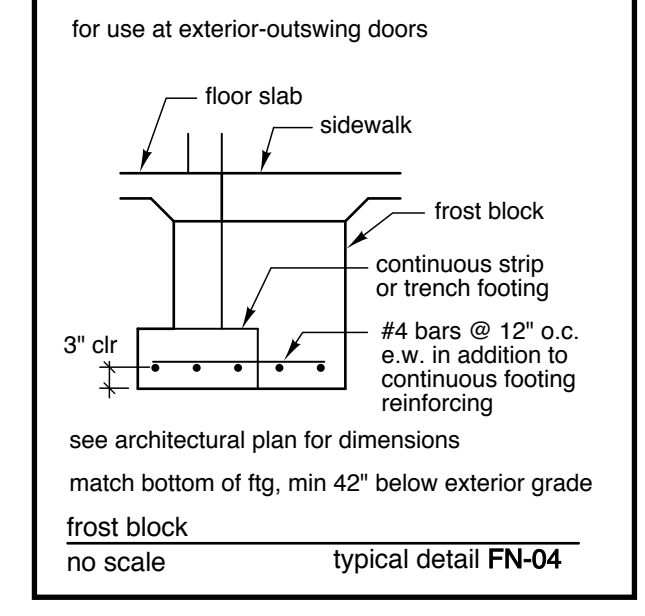
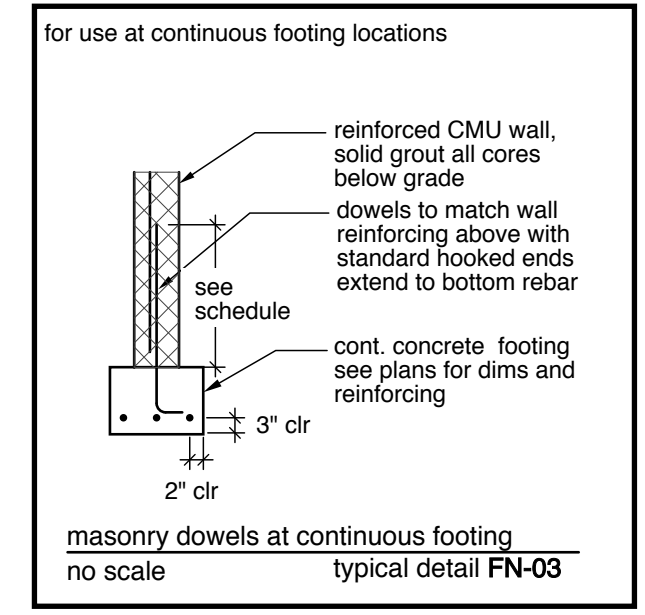
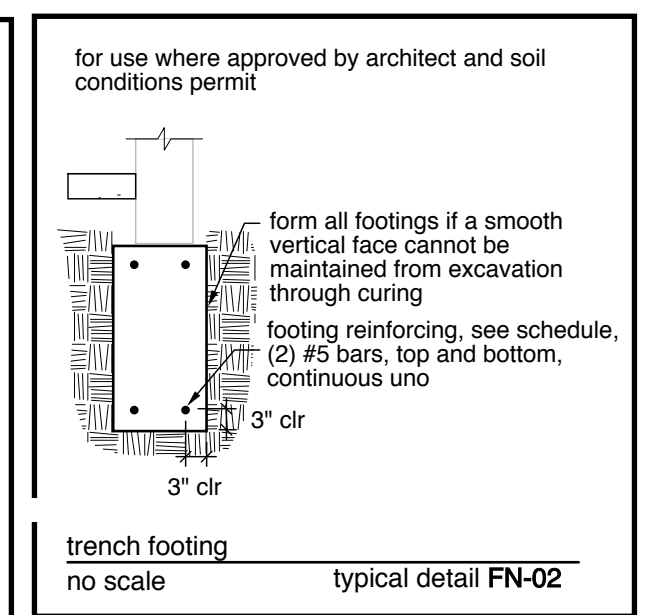
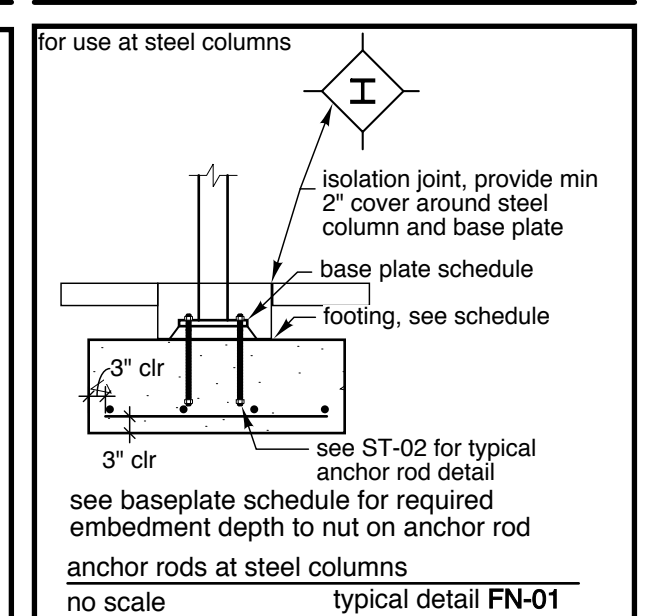
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Project Administrator	A. Maurer
Project Designer	H. Baghi
Project Architect / Engineer	C. King
Drawn By	H. Baghi
Q.M. Review	N. LaForest
Approved	B. Troy
Drawing Scale	

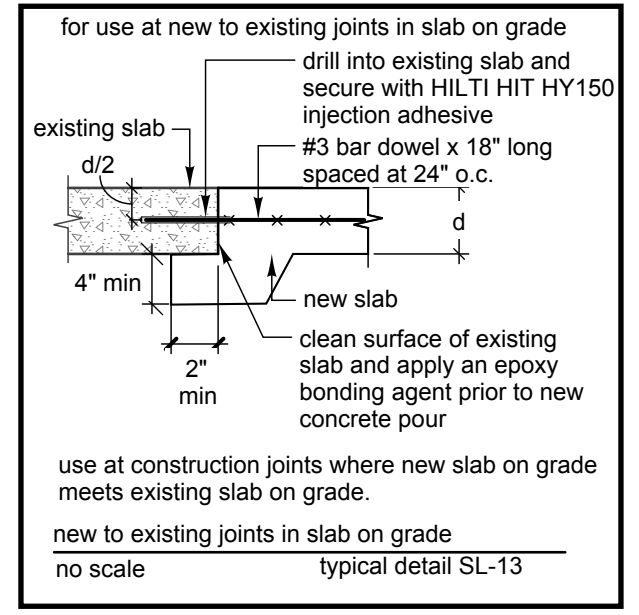
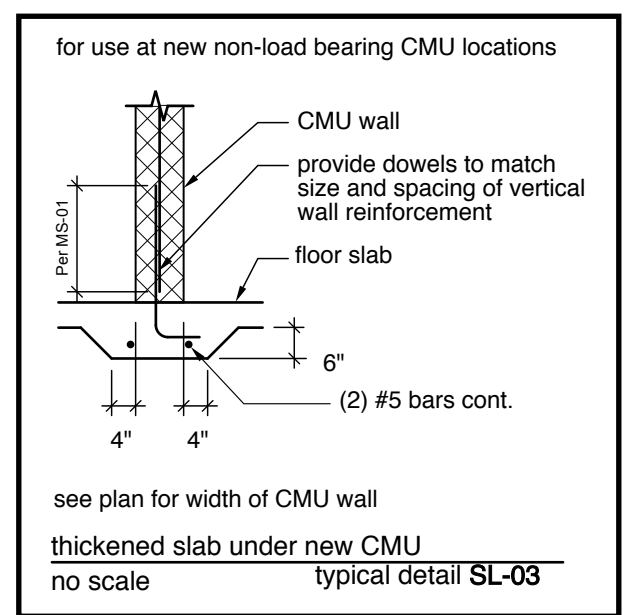
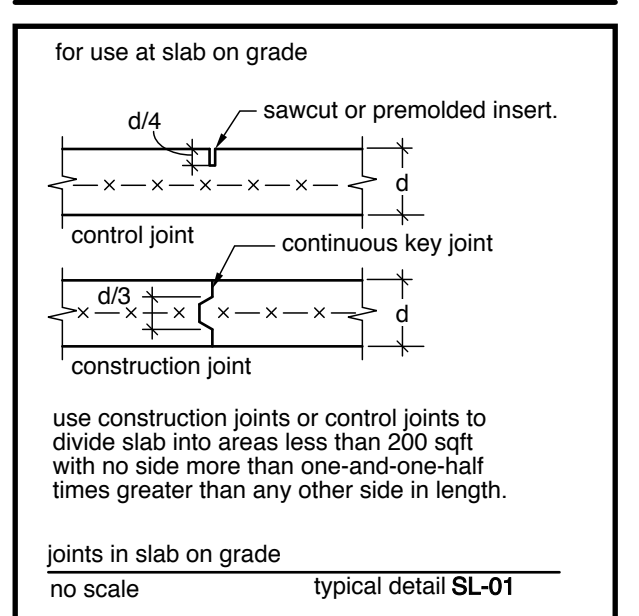
**STEEL JOIST DETAILS**



**FOUNDATION DETAILS**



**SLAB DETAILS**



for use locating reinforcing bars in concrete structure (see ACI 7.7.1 for further info)

condition	concrete cover
cast against & perm. exposed to earth:	3"
exposed to earth or weather:	
#6 bar thru #18 bar	2"
#5 bars or smaller	1 1/2"
not exposed to weather or earth	
slabs/walls/joins:	3/4"
(#11 bars and smaller)	
beams/chairs:	1 1/2"
(primary reinf/ ties/stirrups)	

typical clear cover for reinforcing bars (non-prestressed)  
no scale  
typical detail CT-08

for use with normal weight concrete and fy = 60 ksi (non-epoxy coated) reinforcing bars

bar size	Fc= 3000psi	Fc= 4000psi	Fc= 5000psi	Fc= 6000psi
#3	22"	25"	23"	21"
#4	28"	33"	30"	27"
#5	37"	41"	37"	34"
#6	47"	49"	44"	40"
#7	57"	57"	51"	47"
#8	67"	65"	58"	53"
#9	77"	73"	66"	60"
#10	87"	81"	73"	66"
#11	103"	89"	80"	73"

concrete reinforcing lap schedule  
no scale  
typical detail CT-20

for use with normal weight concrete and fy = 60 ksi (non-epoxy coated) reinforcing bars

bar size	Fc= 3000psi	Fc= 4000psi	Fc= 5000psi	Fc= 6000psi
#3	22"	19"	16"	16"
#4	29"	26"	23"	21"
#5	37"	32"	29"	26"
#6	44"	38"	34"	31"
#7	51"	44"	40"	36"
#8	58"	50"	45"	41"
#9	65"	56"	51"	46"
#10	72"	63"	56"	51"
#11	79"	69"	62"	56"

concrete reinforcing development length schedule  
no scale  
typical detail CT-21

bar size	D	hook	
		180°	90°
#3	2-1/4"	2-1/2"	4-1/2"
#4	3"	2-1/2"	6"
#5	3-3/4"	2-1/2"	7-1/2"
#6	4-1/2"	3"	9"
#7	5-1/4"	3-1/2"	10-1/2"
#8	6"	4"	12"
#9	6"	4-1/2"	13-1/2"
#10	10"	5"	15"
#11	11"	5-1/2"	16-1/2"

standard hooks schedule (L)  
no scale  
typical detail CT-22

for use with normal weight concrete and fy = 60 ksi (non-epoxy coated) reinforcing bars

bar size	Fc= 3000psi	Fc= 4000psi	Fc= 5000psi	Fc= 6000psi
#3	9"	8"	7"	7"
#4	12"	10"	9"	9"
#5	15"	13"	12"	11"
#6	17"	15"	14"	13"
#7	20"	18"	16"	15"
#8	23"	20"	18"	16"
#9	26"	22"	20"	18"
#10	28"	25"	22"	20"
#11	31"	27"	24"	22"

development of standard hooks in tension (L)  
no scale  
typical detail CT-23



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Project Title



Van Buren Public Schools

**Savage & Tyler Elementary  
Schools Secured Entry  
Renovations**

Key Plan

Project Administrator

A. Maurer

Project Designer

[H. Baghi]

Project Architect / Engineer

C. King

Drawn By

H. Baghi

Q.M. Review

N. LaForest

Approved

B. Toy

Drawing Scale

Issued for

Issue Date

Design Development 06-24-2024

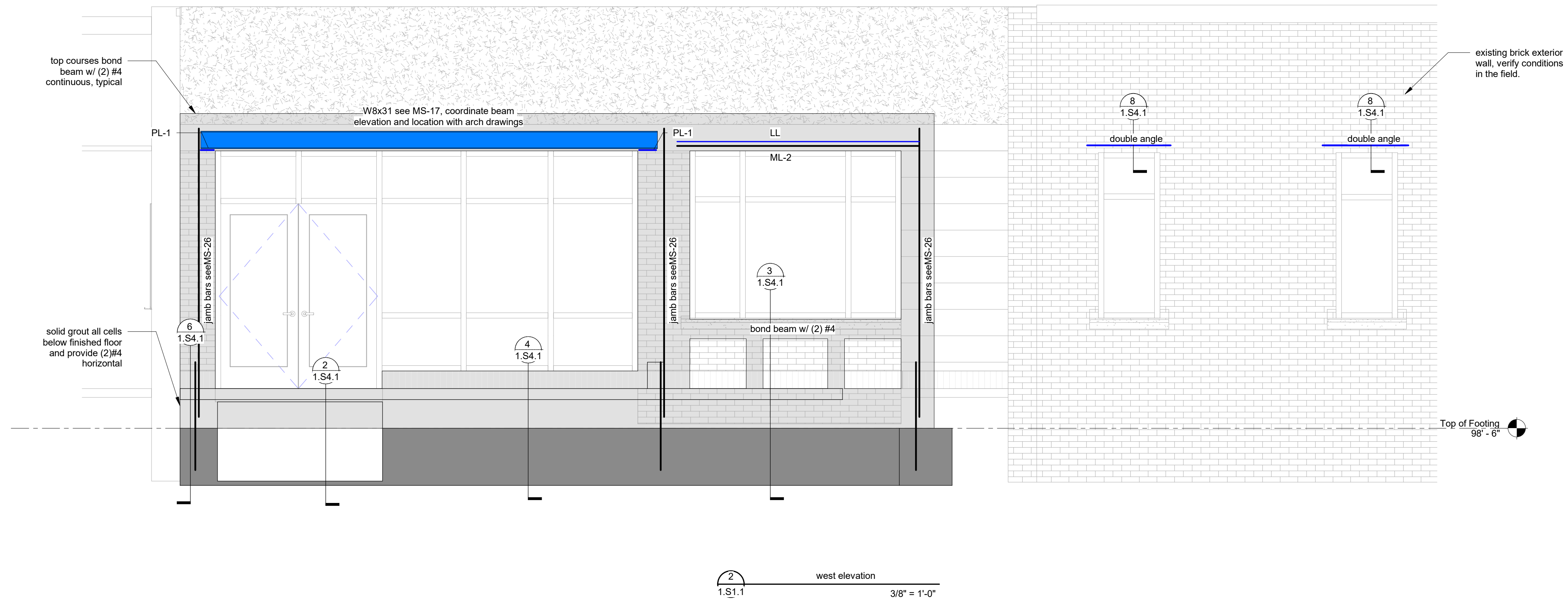
Quality Management Review 08-23-2024

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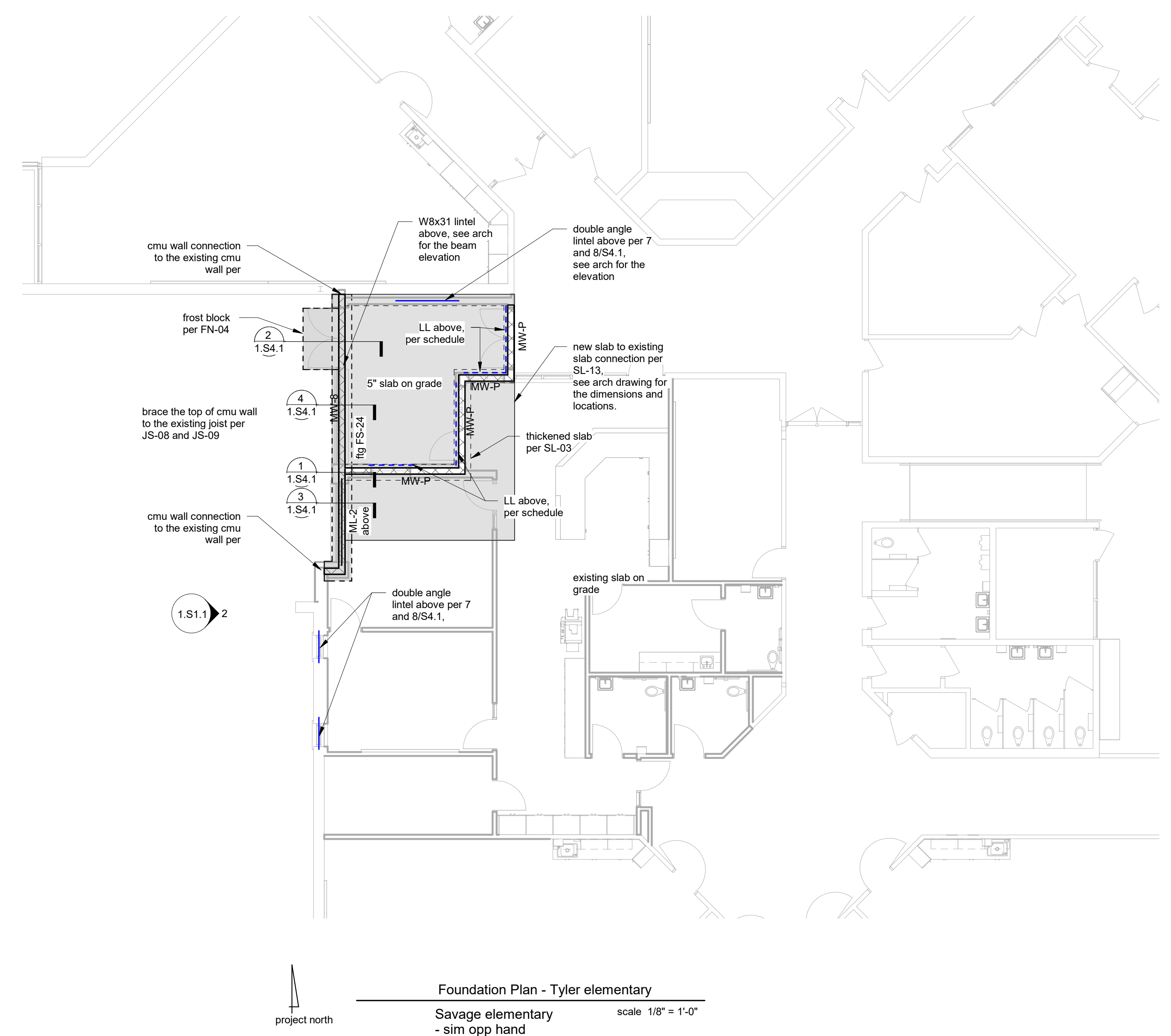
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IDS Drawing Title

Typical Details



1.S4.1 west elevation  
3/8" = 1'-0"



Foundation Plan - Tyler elementary  
Savage elementary  
- sim opp hand  
scale 1/8" = 1'-0"

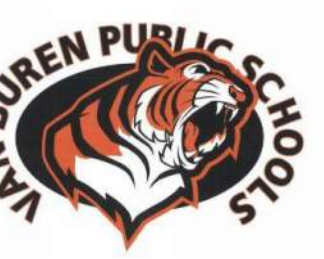
**Foundation Plan Notes**

**Footings Label Conventions:** FS-24T(24")  
footing type, see schedule  
"T" indicates additional top bars are required at this location  
indicates a non-standard thickness of footing required at this location

**Slab on Grade**  
Typical top of slab elevation = 100'-0", u.n.o.  
See architectural plans for areas with depressed or sloping slabs.  
Slab on grade to be 5" thick, u.n.o.

**Foundations**  
Typical top of footing elevation = 98'-0", u.n.o.  
Place footings on soil compacted to a minimum of 2,000 psf allowable bearing capacity, verified by an on site testing agency prior to footing placement.  
The bottom of all footings which will be exposed to freezing temperatures permanently or during construction shall be lowered to at least 42" below grade.  
Provide a thickened slab below all interior cmu walls per SL-03/SO.3 unless a footing is shown. See architectural for cmu wall locations.  
See Slab on Grade Notes and Foundation Notes and Schedule on SO.1 and typical details on SO.3 and project specifications for more information and requirements.

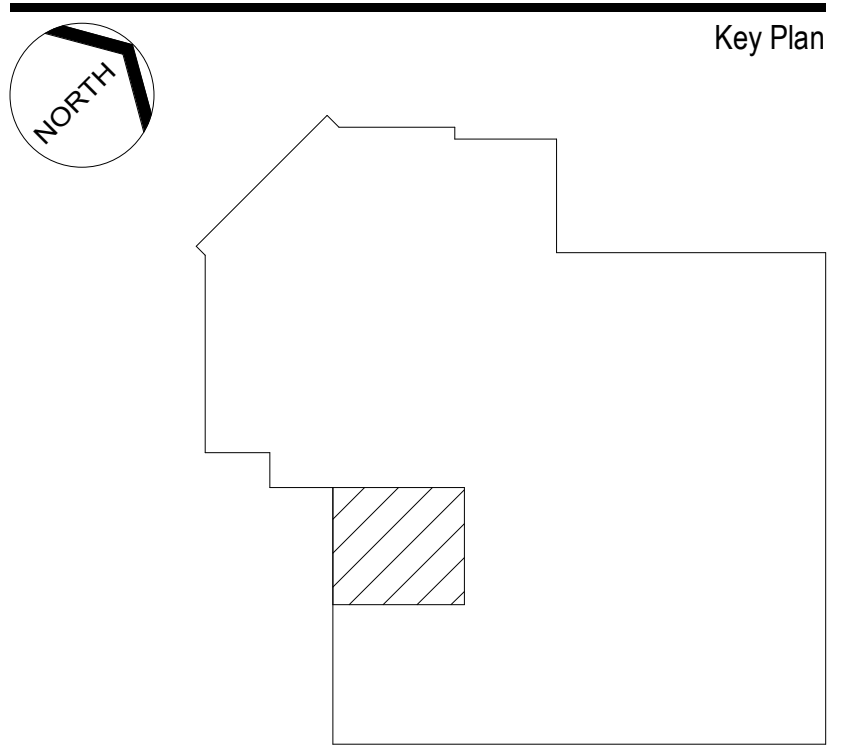
Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



Project Administrator

A. Maurer

Project Designer

H. Baghi

Project Architect / Engineer

C. King

Drawn By

H. Baghi

Checked By

N. LaForest

Approved

B. Toy

Drawing Scale

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Bids 09-13-2024

**Foundation Section Notes:**  
 1. All footings to bear on native soil, prepared according to recommendations in soils report, testing agency to inspect and verify prior to footing placement  
 2. See CT-08 for required concrete cover unless otherwise indicated  
 3. Lap continuous bars per CT-20



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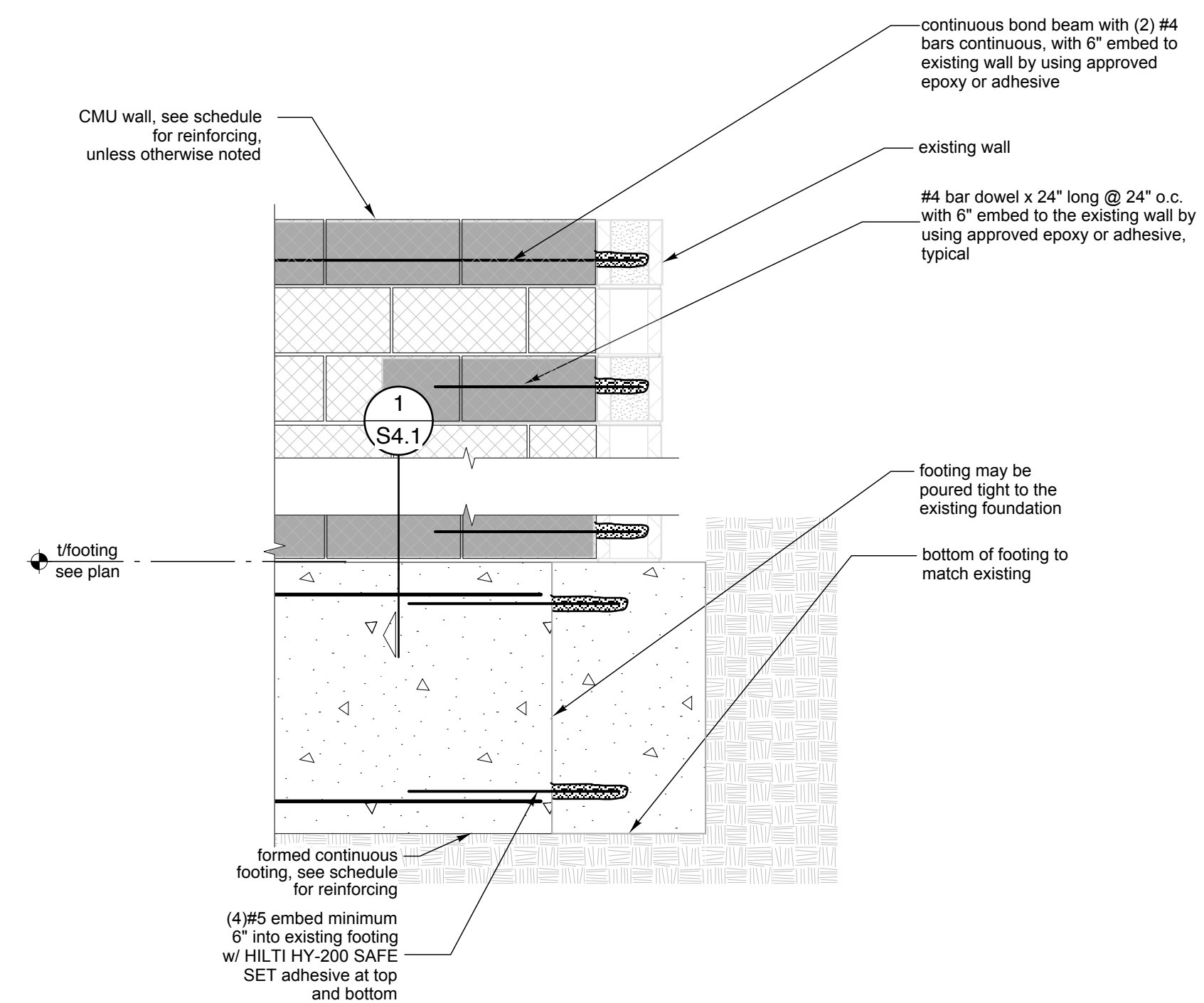
Project Title



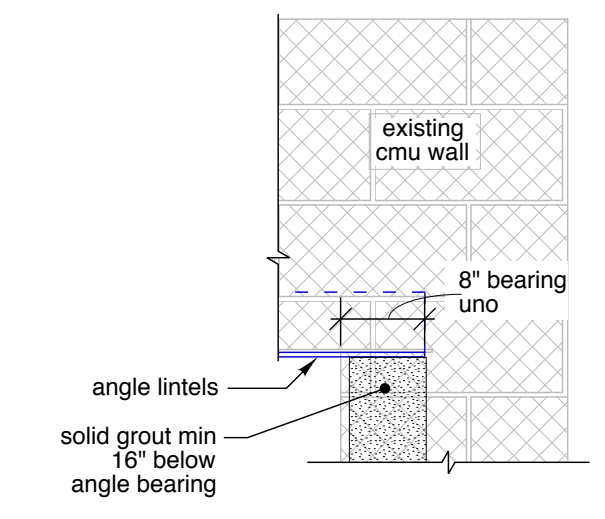
Van Buren Public Schools

**Savage & Tyler Elementary Schools Secured Entry Renovations**

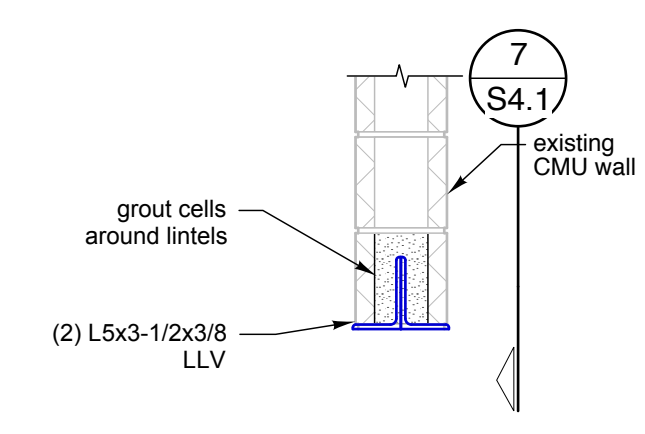
Key Plan



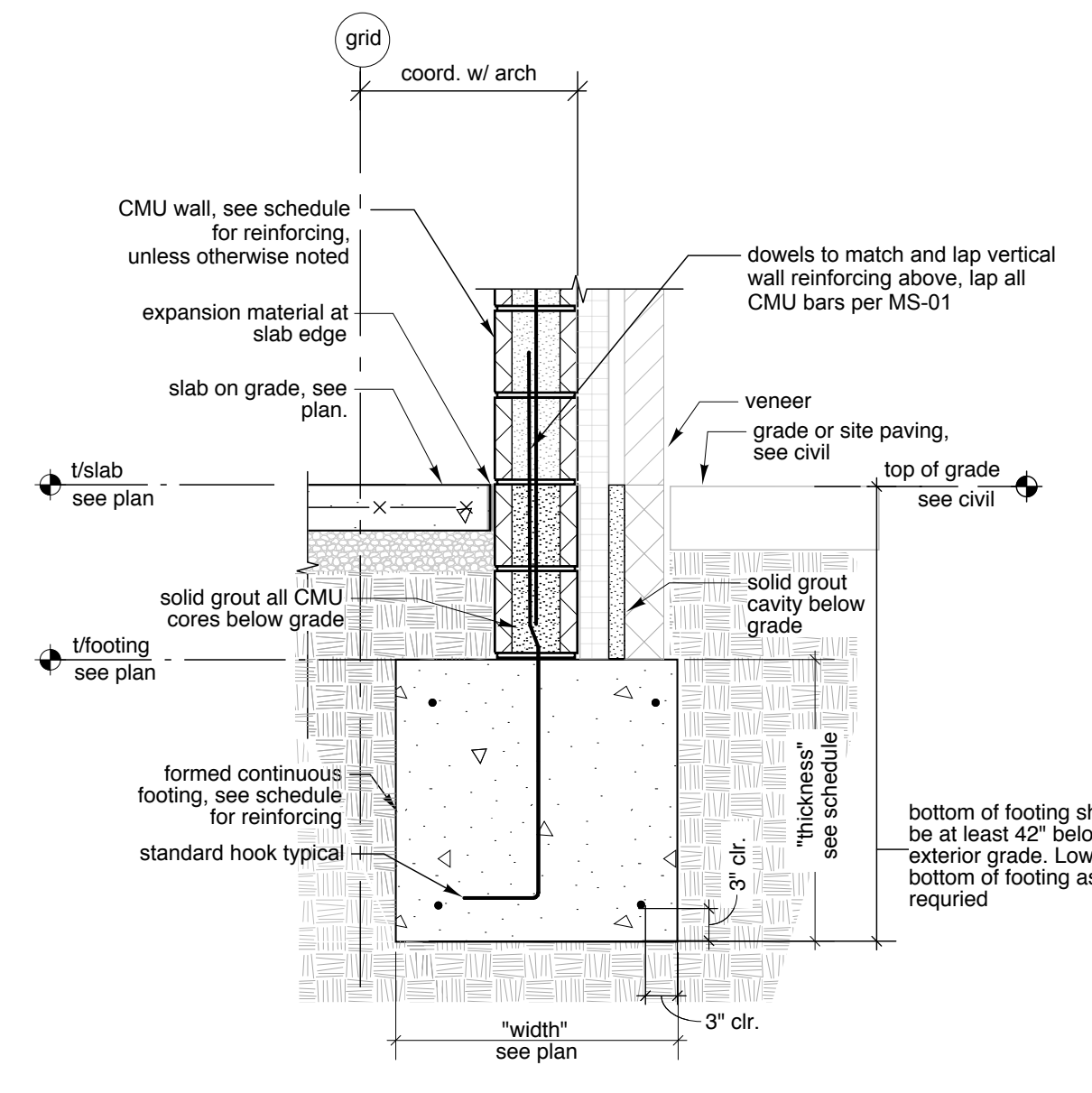
**6**  
 S4.1 new wall to existing wall connection  
 3/4" = 1'-0"



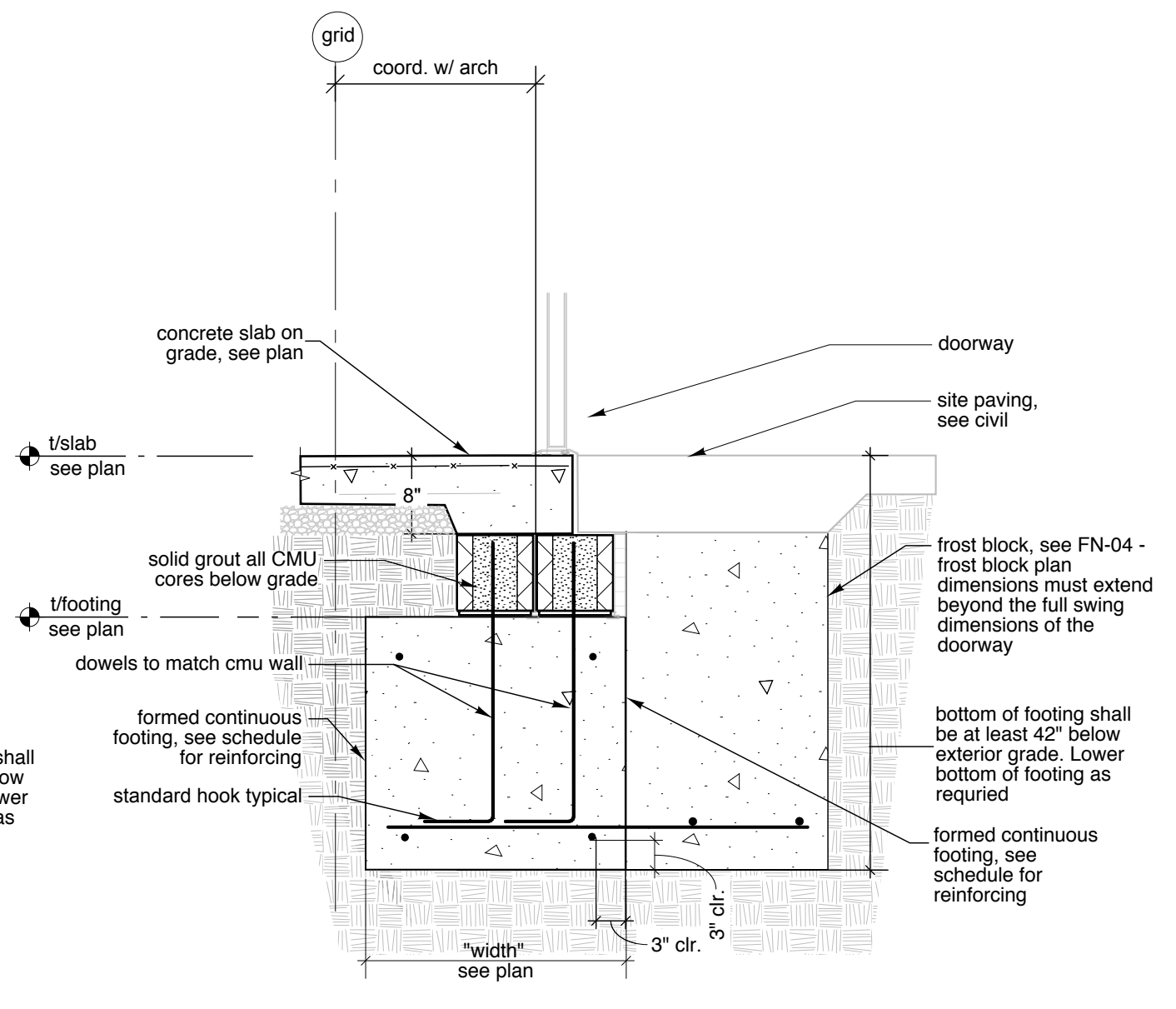
**7**  
 S4.1 double angle lintel at non-bearing wall  
 note: provide temporary shoring of existing CMU wall during installation of lintel  
 3/4" = 1'-0"



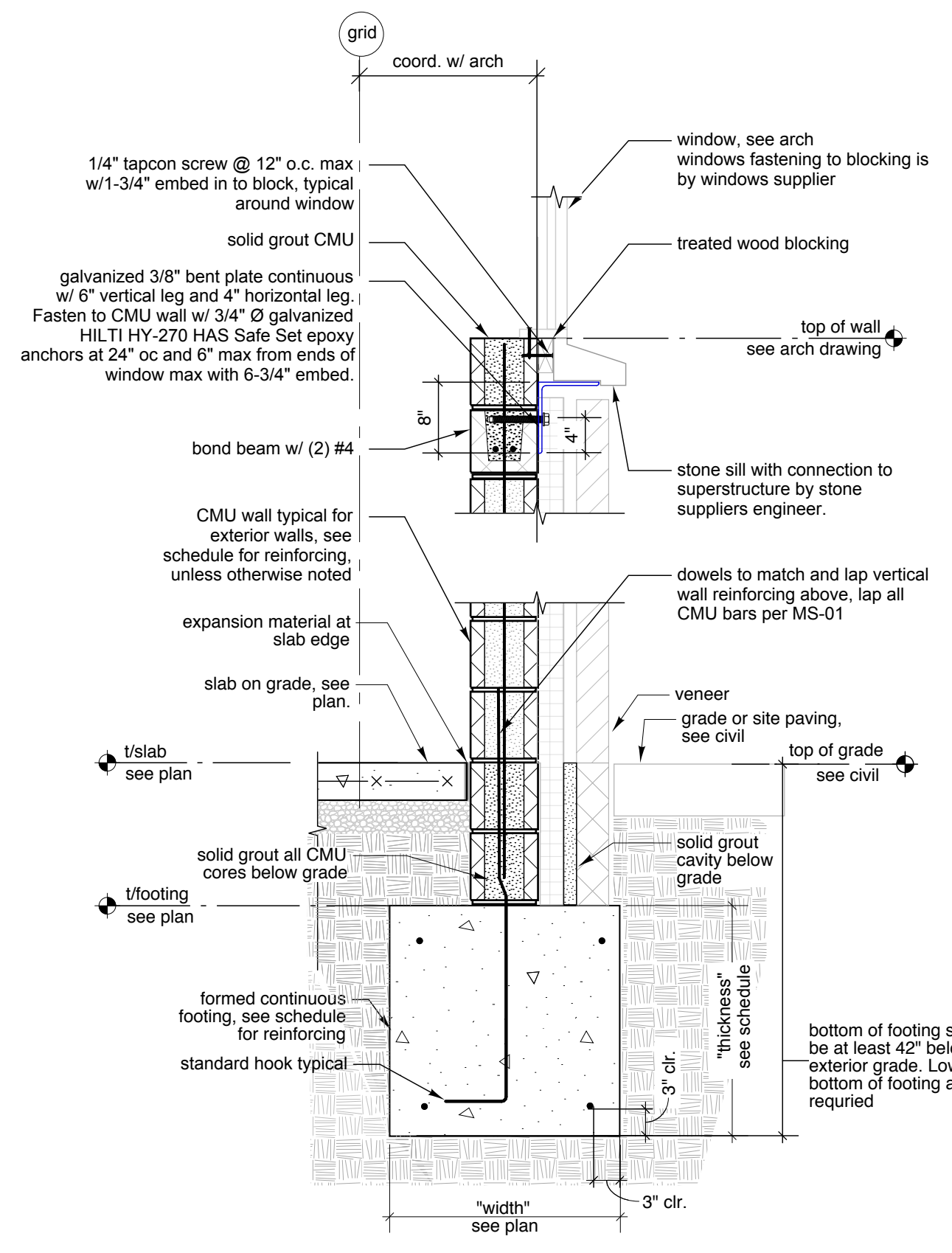
**8**  
 S4.1 double angle lintel at non-bearing wall  
 note: provide temporary shoring of existing CMU wall during installation of lintel  
 3/4" = 1'-0"



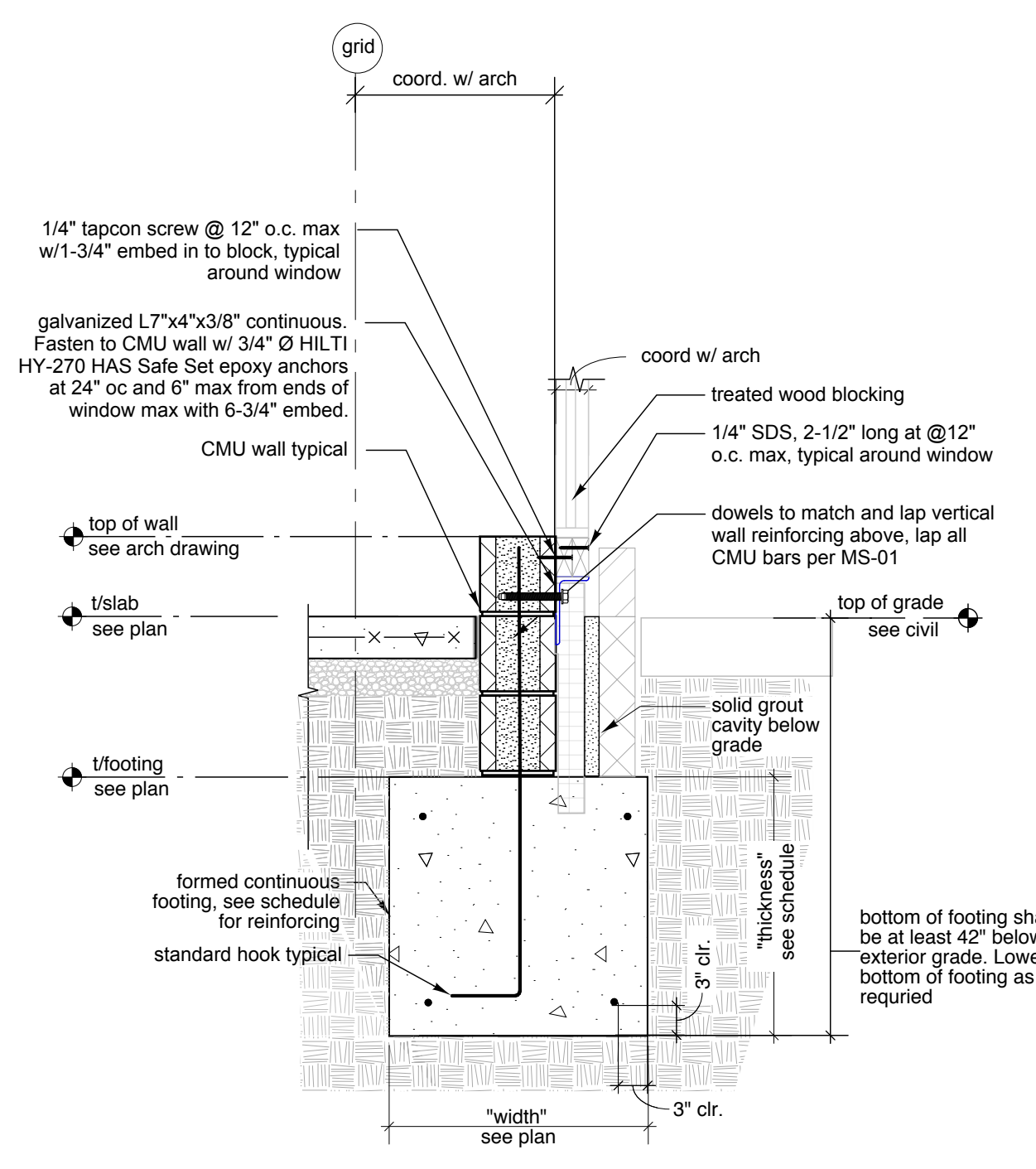
**1**  
 S4.1 exterior wall  
 3/4" = 1'-0"



**2**  
 S4.1 exterior doorway  
 3/4" = 1'-0"



**3**  
 S4.1 exterior wall  
 3/4" = 1'-0"



**4**  
 S4.1 exterior wall  
 3/4" = 1'-0"

Project Administrator	A. Maurer
Project Designer	[H. Baghi]
Project Architect / Engineer	C. King
Drawn By	H. Baghi
Q.M. Review	N. LaForest
Approved	B. Toy
Drawing Scale	
Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024

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IDS Drawing Title

Structural Details

IDS Project Number Drawing Number

20111-3008 1.S4.1

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MEANS OF EGRESS

Tables for Assembly Occupancy, Egress width per occupant, Maximum Floor Area Allowances Per Occupant, Tabular Occupant Loads, and Exit Egress Capacity.

LIFE SAFETY SYSTEMS

Legend for Life Safety Systems including High-Rise Buildings, Fire Protection System Requirements, Standpipe Systems, Fire Pumps, Fire Hazard Occupancy, Portable Fire Extinguishers, Fire Alarm and Detection System Requirements, Emergency Voice/Alarm Communication System, Elevator Requirements, Accessible Means of Egress, and Emergency and Standby Power System.

FIRE RATINGS AND SEPARATIONS

Tables for Fire Ratings and Separations including Primary Structural Frame, Nonbearing Walls and Partitions, Separation of Occupancies, Allowable Area Separations (Fire Walls), Fire Area Separations (Fire Barriers), Corridors (Fire Partitions), Shaft Enclosures, Smoke Compartments (Smoke Barriers), Incidental Use Areas, Furnace Room, Boiler Room, Refrigerant Machinery Room, Hydrogen Cutoff Room, Incinerator Room, Paint Shops, Laboratories and Vocational Shops, Laundry Room >100sf, Waste and Linen Collection Room, Stationary storage boiler systems, Storage and Janitor, Maintenance Shops.

CODE INFORMATION

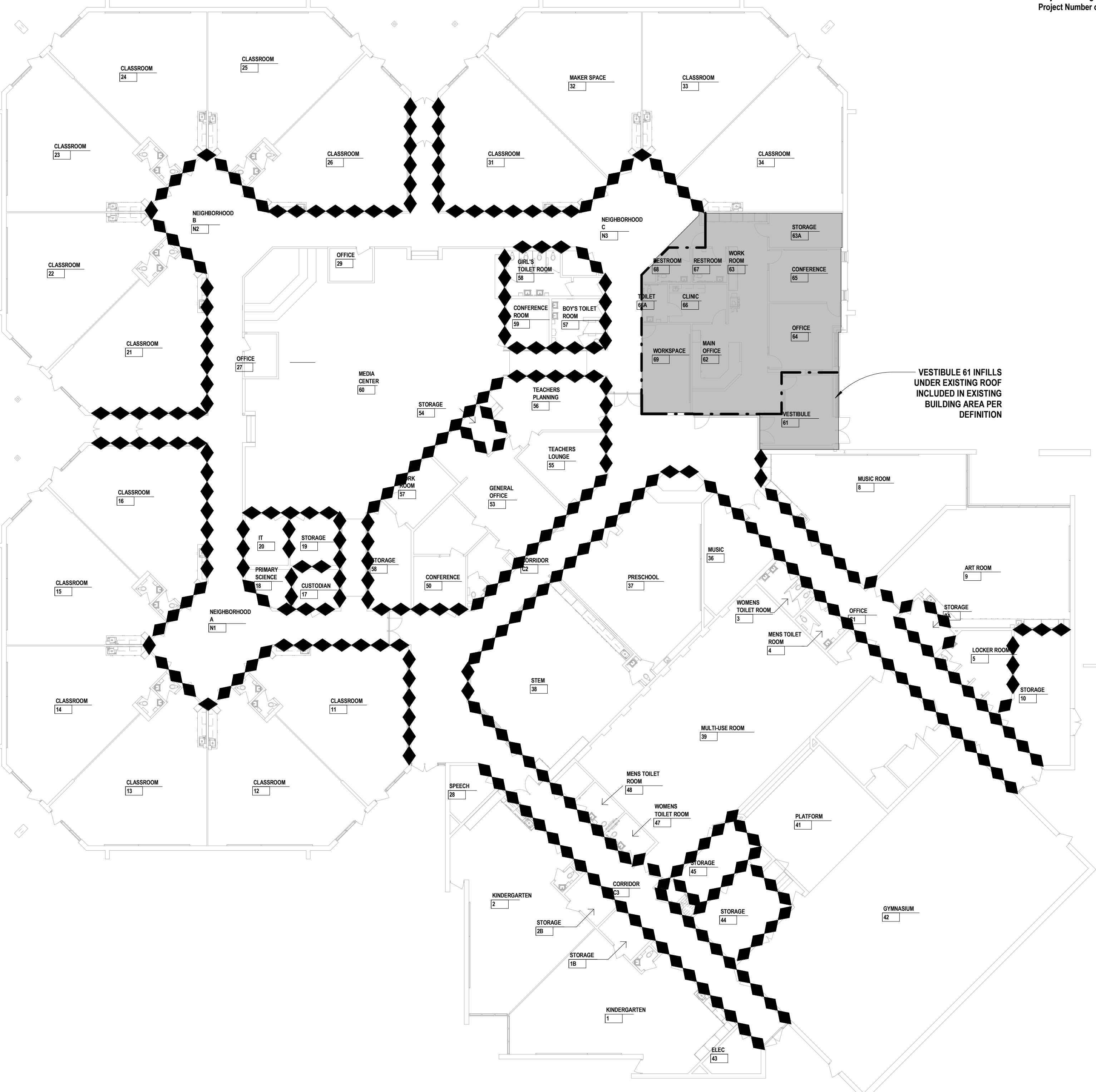
Table for Code Information listing applicable construction codes and standards such as Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, etc.

INTERIOR FINISH REQUIREMENTS

Tables for Interior Wall and Ceiling Finish Requirements and Interior Floor Finish Requirements.

BUILDING INFORMATION

Table for Building Information including Type of Construction, Occupancy Group, Tabular Building Area, Frontage Increase, Allowable Area (Aa), Project Floor Area, Tabular Allowable Building Height, and Project Building Height.



LEGEND defining symbols for EMERGENCY RESCUE/VENTILATION WINDOW OPENING, EXISTING FIRE-RESISTANT-RATED FIRE BARRIER, and various fire-rated partitions.



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Van Buren Public Schools Savage & Tyler Elementary Schools Secured Entry Renovations

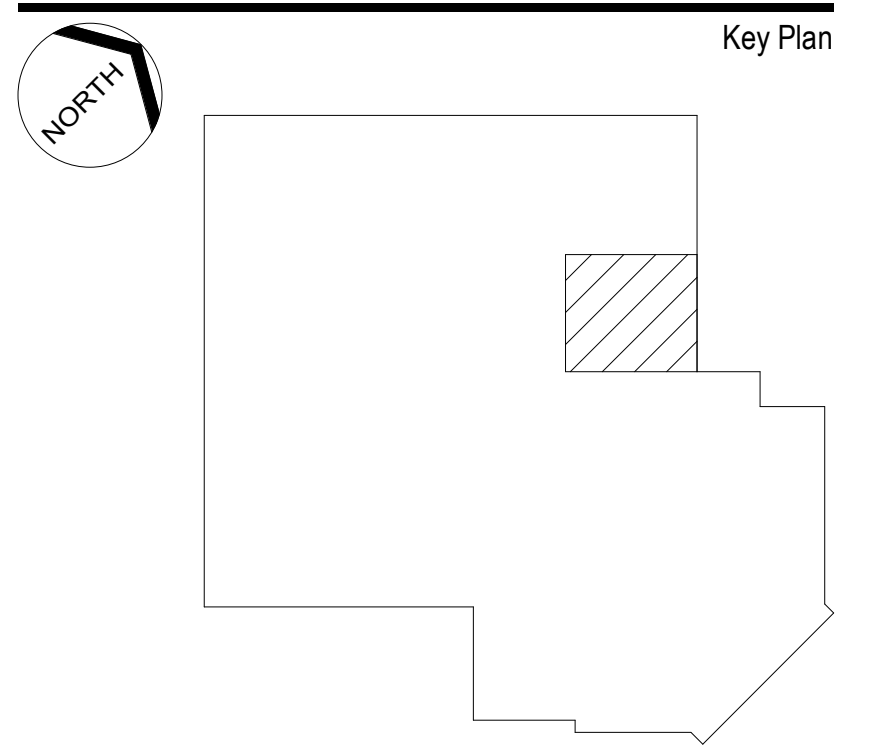


Table for project administration including Project Administrator, Project Designer, Project Architect, and various review dates.

Table for issue dates including Issued for, Design Development, Quality Management Review, and Bids.

Life Safety Plan - Savage Elementary 20111-3008 1.LS0.1

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**MEANS OF EGRESS**

Assembly Occupancy	MBC 200/250	Table 1016.2	NFPA 200/250	Section 12.2.6.2	MRCEB	35	Section 09.6
Exit Access Travel Distance	175/100	Table 1014.3	175/100	Section 12.2.1.2			
Common Path of Egress Travel	20/50	Table 1014.4	20/50	Section 12.2.1.3			
Dead End Corridors							
Egress width per occupant	MBC 0.3	Table 1005.3.1	NFPA 0.3	Table 7.3.3.1			
Stairways	0.2	Table 1005.3.2	0.2	Table 7.3.3.1			
Other Egress Components							
Maximum Floor Area Allowances Per Occupant	MBC 100	Section 1004.1	NFPA 100	Section 7.3.1.2			
Business	15	Table 1004.1.1	15	Table 7.3.1.2.1			
Assembly (Unconcentrated)	50	Table 1004.1.2	50	Table 7.3.1.2.2			
Educational (Classroom area)	50	Table 1004.1.3	50	Table 7.3.1.2.3			
Exercise Rooms	50	Table 1004.1.4	50	Table 7.3.1.2.4			
Library - Reading Rooms	100	Table 1004.1.5	100	Table 7.3.1.2.5			
Library - Stack Area	15	Table 1004.1.6	15	Table 7.3.1.2.6			
Stages and Platforms	300	Table 1004.1.7	300	Table 7.3.1.2.7			
Accessory Storage Areas/ Mechanical Room							
Tabular Occupant Loads							
First Floor		2,893					
Total		2,893					
Exit Egress Capacity	Quantity	Width	MBC Capacity	NFPA Capacity			
First Floor							
Doors	43 @	32 in	6,880	6,880			
Stairs	0 @	0 in	0	0			
Total			6,880	6,880			

**LIFE SAFETY SYSTEMS**

High-Rise Buildings	Yes	No	
Applicability			
MBC Section 603.1			
Fire Protection System Requirements	Full	Partial	None
Automatic Sprinkler Systems			
MBC Section 903			
NFPA - See Occupancy Chapters 6 & 7.1			
Standpipe Systems	Required	Not Required	
MBC Section 905			
NFPA - See Occupancy Chapters 6 & 7.1			
Fire Pumps	Required	Not Required	
MBC Section 906			
NFPA - See Occupancy Chapters 6 & 7.4			
Fire Hazard Occupancy	Light (Low)	Ordinary (Moderate)	Extra (High)
MBC Section 906			
NFPA - See Occupancy Chapters 6 & 7.4			
Portable Fire Extinguishers	Required	Not Required	Special Hazard Areas Only
MBC Section 906			
IFC Section 906			
NFPA - See Occupancy Chapters 6 & 7.4			
Fire Alarm and Detection System Requirements	Required	Not Required	
Manual Fire Alarm System			
MBC Section 907			
NFPA - See Occupancy Chapters 6 & 9.6			
Emergency Voice/Alarm Communication System	Required	Not Required Per MRCEB Section 804.4.1, Exception #1	
MBC Section 907.2.1.1			
MBC Section 907.5.2.2			
Elevator Requirements	Yes	No	
Ambulance Stretcher Compliance			
MBC Section 302.4			
Accessible Means of Egress	Yes	No	
MBC Section 1007.2.1			
Emergency and Standby Power System	Required Emergency Lighting and Exit Signs	Not Required	
MBC Section 2702			

**FIRE RATINGS AND SEPARATIONS**

Primary Structural Frame	MBC 0	Table 601	NFPA 0	Table 220
Bearing Walls	0	Table 601	0	Table 220
Exterior	0	Table 601	0	Table 220
Interior	0	Table 601	0	Table 220
Nonbearing Walls and Partitions	0	Table 602	0	Table 220
Exterior	0	Table 602	0	Table 220
Interior	0	Table 601	0	Table 220
Floor Construction and Associated Secondary Members	0	Table 601	0	Table 220
Roof Construction and Associated Secondary Members	0	Table 601	0	Table 220
Separation of Occupancies	N/A	Table 508.3.3	N/A	See Occupancy Chapters
Allowable Area Separations (Fire Walls)	2	Table 705	2	Section 8.2.1.3
Fire Area Separations (Fire Barriers)	1	Table 706	1	Section 8.3
Corridors (Fire Partitions)	1	Table 1018	1	See Occupancy Chapters
Shaft Enclosures	1	Table 707	1	Section 8.3
Smoke Compartments (Smoke Barriers)	0	Table 709	1	Section 8.4
Incidental Use Areas	MBC 1	Table 509	NFPA 1	Table 509
Furnace Room	1	Table 509	1	Table 509
Boiler Room	1	Table 509	1	Table 509
Refrigerant Machinery Room	1	Table 509	1	Table 509
Hydrogen Cutoff Room	2	Table 509	2	Table 509
Inerator Room	2	Table 509	2	Table 509
Paint Shops	1	Table 509	1	Table 509
Laboratories and Vocational Shops	1	Table 509	1	Table 509
Laundry Room >100sf	1	Table 509	1	Table 509
Waste and Linen Collection Room	1	Table 509	1	Table 509
Stationary storage boiler systems	1	Table 509	1	Table 509
Storage and Janitor	1	Table 509	1	Table 509
Maintenance Shops	2	Table 509	2	Table 509

**CODE INFORMATION**

APPLICABLE CONSTRUCTION CODES AND STANDARDS

Building:	Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Building Code
Mechanical:	Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Mechanical Code
Plumbing:	Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Plumbing Code
Electrical:	Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the National Electrical Code
Fire Alarm:	Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of NFPA 72 - National Fire Alarm and Signaling Code

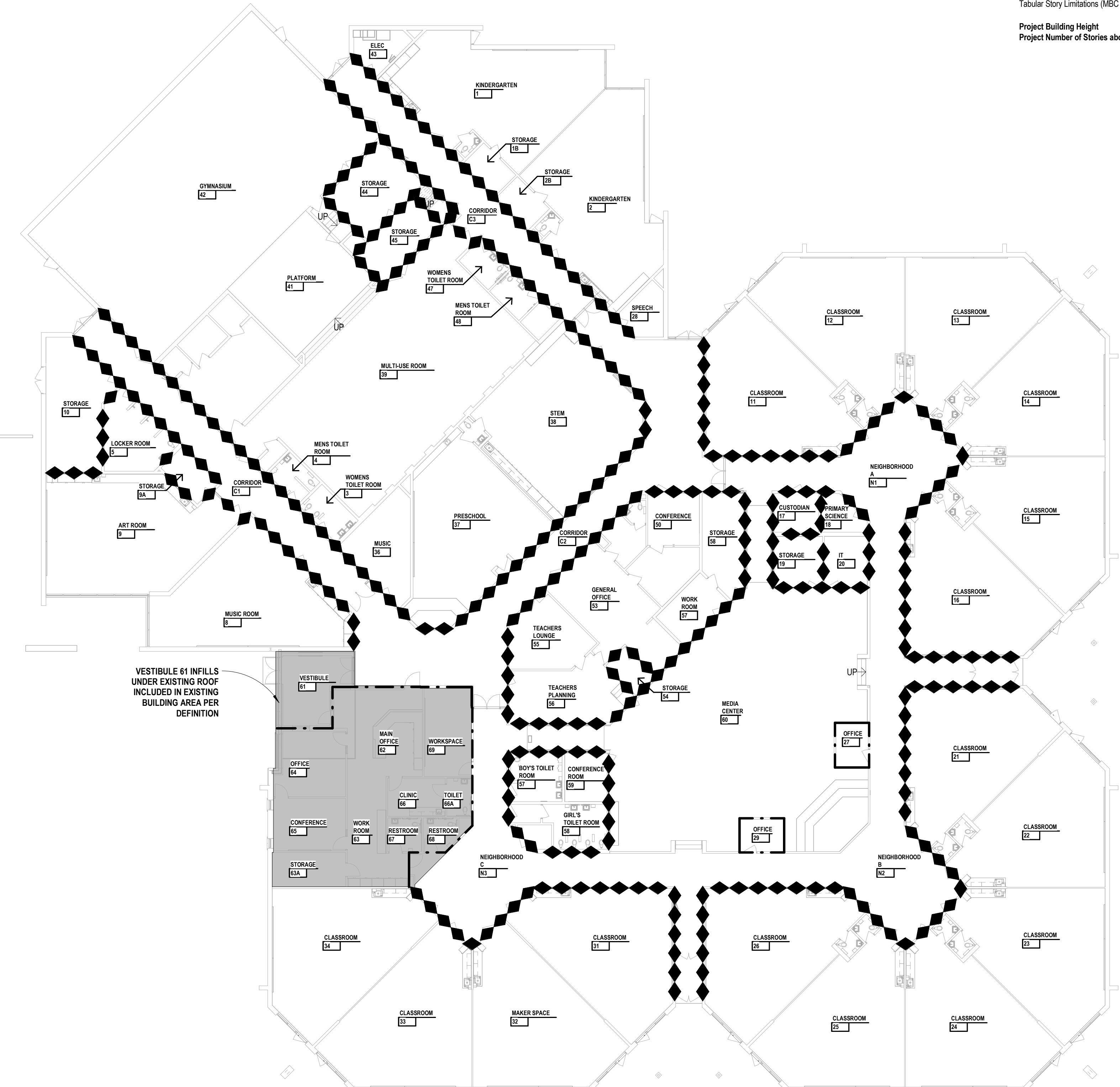
**INTERIOR FINISH REQUIREMENTS**

Interior Wall and Ceiling Finish Requirements	MBC Table 803.11	NFPA See Occupancy Chapters A, B, C
Interior and Stairways, ramps and passageways		
Corridors and exit access stairways and ramps		
Rooms and Enclosed Spaces		
Interior Floor Finish Requirements	MBC Section 904.4	NFPA See Occupancy Chapters Class II, N/A

**BUILDING INFORMATION**

SINGLE USE AND OCCUPANCY

Type of Construction	MBC II-B	NFPA II(000)			
Occupancy Group	E	E			
Tabular Building Area (MBC Table 506.2) (A)	NS	14,500 SF/story 58,000 SF/story			
Frontage Increase (MBC Section 506.3) (f)		0.75			
Building Perimeter that fronts a public way or open space		1,043 feet			
Perimeter of entire building		1,043 feet			
Width of public way or open space		30 feet			
Allowable Area (Aa)	Non-sprinklered Fully Sprinklered	25,375 SF/story 68,875 SF/story			
Project Floor Area	Existing Proposed	Renovated Total			
First Floor	50,429 SF	0 SF	2,218 SF	4%	50,429 SF
Sub-total	50,429 SF	0 SF	2,218 SF	4%	50,429 SF
Tabular Allowable Building Height (MBC Table 504.3)		MBC 50 Feet			
Tabular Story Limitations (MBC Table 504.4)		2 Stories above grade plane			
Project Building Height		24 Feet			
Project Number of Stories above grade plane		1 Stories above grade plane			



**LEGEND**

LIFE SAFETY  
NOTE: NOT ALL SYMBOLS MAY BE USED

+	EMERGENCY RESCUE/VENTILATION WINDOW OPENING
◆◆◆◆	EXISTING FIRE-RESISTANT RATED FIRE BARRIER, NEW PENETRATIONS OR OPENING PROTECTIVES WILL COMPLY WITH 1-HOUR FIRE-RESISTANCE-RATED FIRE BARRIER REQUIREMENTS
— · — · —	1-HR FIRE-RATED PARTITION
— · — · — · —	2-HR FIRE-RATED PARTITION
— · — · — · — · —	3-HR FIRE-RATED PARTITION
— · — · — · — · — · —	SMOKE TIGHT PARTITION
■	AREA OF LEVEL 2 ALTERATION
▨	AREA COVERED BY EXISTING AUTOMATIC SPRINKLER SYSTEM

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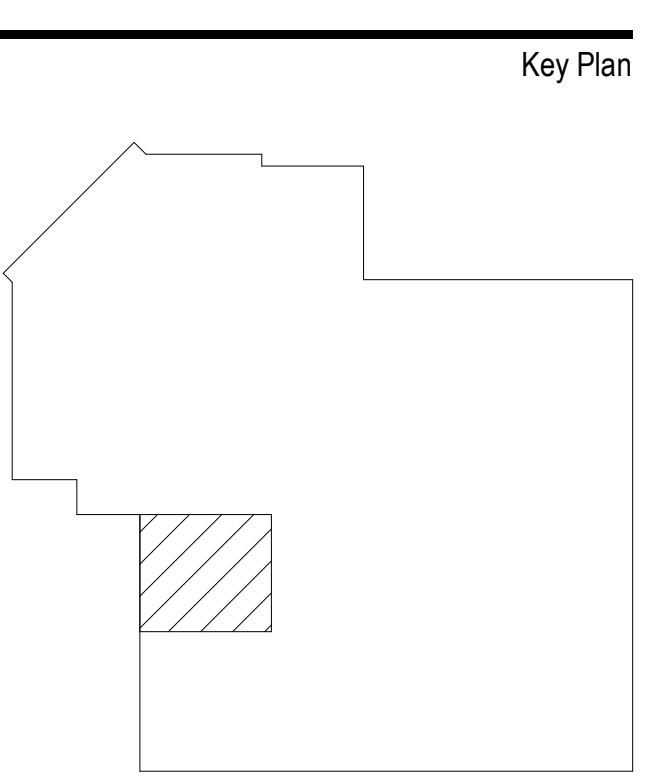
Van Buren Public Schools

**Savage & Tyler Elementary Schools Secured Entry Renovations**

Project Administrator  
A. Maurer  
Project Designer  
A. Peiffrey  
Project Architect / Engineer  
C. King  
Drawn By  
A. Peiffrey  
Q.M. Review  
N. LaForest  
Approved  
B. Sundberg  
Drawing Scale  
1/16" = 1' - 0"

Issued for Issue Date  
Design Development 06-24-2024  
Quality Management Review 08-23-2024  
Bids 09-13-2024

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IDS Drawing Title



Life Safety Plan - Tyler Elementary

## GENERAL NOTES

### NEW WORK PLAN

- REFER TO SHEET 1.A9.2 FOR DOOR SCHEDULE AND COLORS.
- REFER TO SHEET 1.A8.1 FOR FINISH SCHEDULE AND COLORS.
- REFER TO LIFE SAFETY PLANS FOR PARTITION RATINGS.
- PARTIAL WALL POCHING IS SHOWN THROUGHOUT THIS PLAN AND THE TERMINATION OF SAME SHALL NOT BE CONSTRUED TO REPRESENT A CHANGE IN WALL MATERIAL. VERIFY WALL MATERIALS WITH PARTITION TYPES AND SCHEDULES.
- PATCH AND/OR REPAIR ALL EXISTING FLOOR, WALL AND OR CEILING FINISHES AS REQUIRED TO MATCH EXISTING OR TO ACCEPT NEW FINISHES AS SCHEDULED AT ALL AREAS AFFECTED BY THE DEMOLITION WORK. REFER TO MECHANICAL AND ELECTRICAL SHEETS FOR ADDITIONAL SCOPE OF WORK.
- INFILL ALL OPENINGS IN EXISTING WALLS ABOVE CEILING THAT ARE THE RESULT OF MECHANICAL OR ELECTRICAL DEMOLITION. OPENINGS IN MASONRY WALLS SHALL BE FILLED WITH MASONRY OF SIMILAR TYPES AND THICKNESS AS EXISTING. OPENINGS IN OTHER TYPES OF WALL CONSTRUCTION SHALL MATCH EXISTING MATERIALS, FINISHES AND WALL THICKNESS. REFER TO MECHANICAL AND ELECTRICAL SHEETS FOR SCOPE OF WORK.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE.
- COORDINATE SIZE AND LOCATION OF ALL ACCESS DOORS WITH TRADES REQUIRING SAME. QUANTITIES SHOWN DO NOT NECESSARILY REPRESENT ALL ACCESS DOORS REQUIRED FOR ACCESSIBILITY.
- ADDITIONAL TERRAZZO FLOOR PATCHING SCOPE OF WORK IS SHOWN ON SHEET 1.A0.1 FLOOR PLANS.

## KEYNOTES

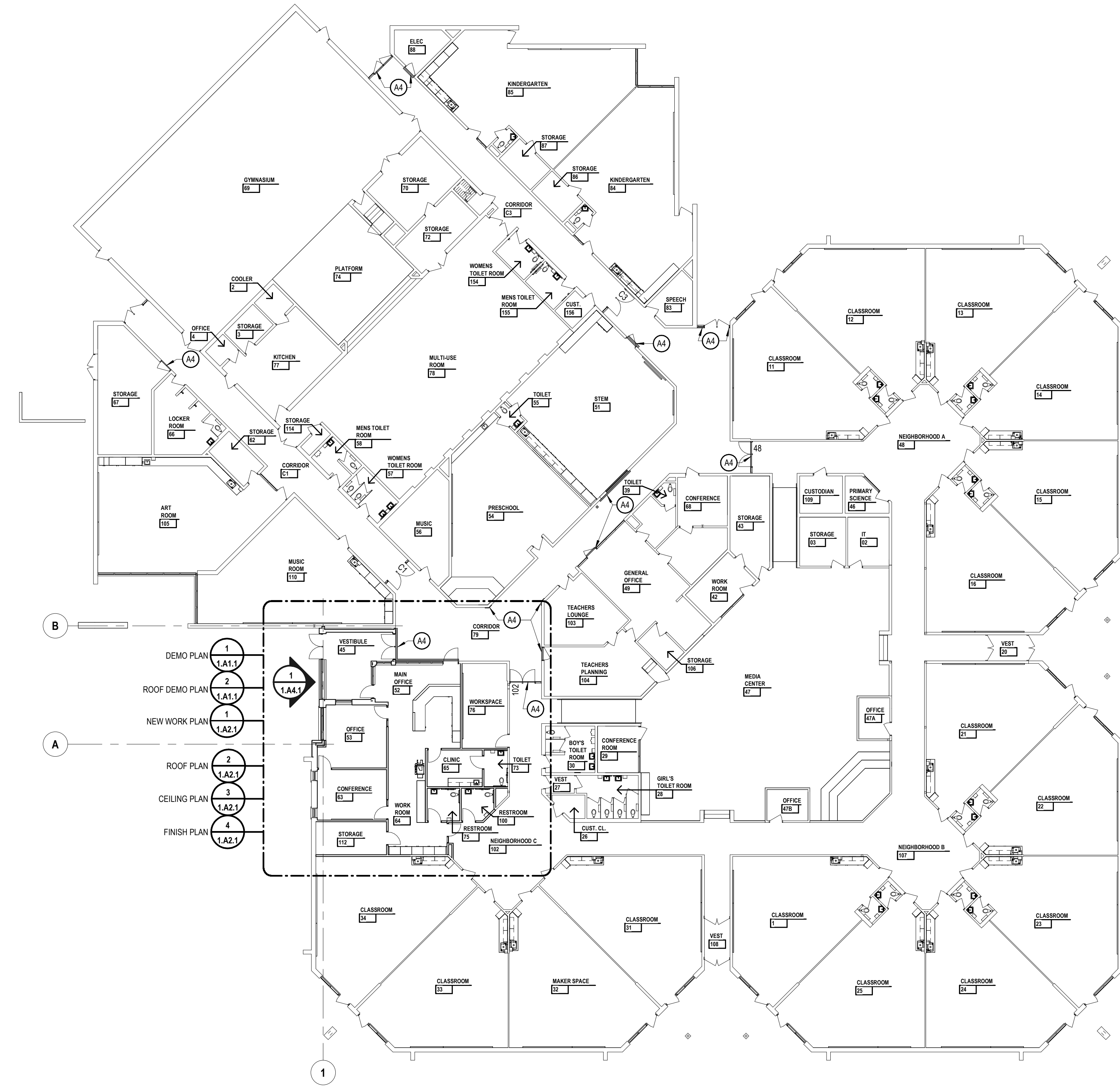
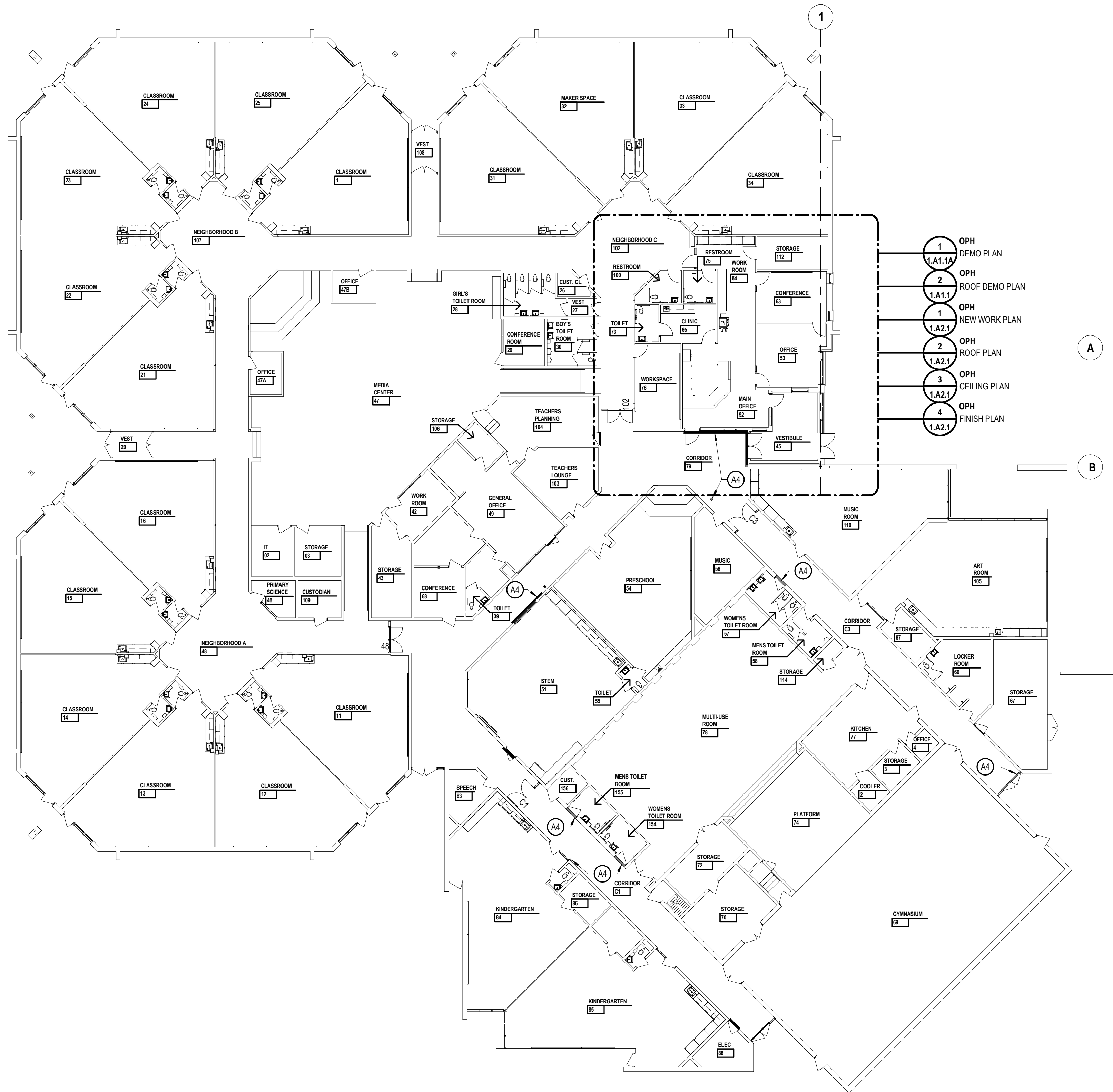
### NEW WORK FLOOR PLAN

SHADED ITEMS HAVE BEEN REVISED FROM PREVIOUS

NOTE: NOT ALL KEYNOTES MAY BE USED

LEGEND SYMBOL INDICATOR

- A1 03 3000 PATCH AND REPAIR CONCRETE FLOOR AT LOCATION OF REMOVED WALL OR REMOVED SLAB PORTION. REFER TO STRUCTURAL DETAIL SL-13 PER SHEET 1.S0.3.
- A2 03 3000 CONCRETE SLAB ON GRADE. REFER TO FOUNDATION PLAN PER SHEET 1.S1.1.
- A3 POWER-OPERATED DOOR
- A4 09 6623 TERRAZZO FLOORING AND WALL BASE REPAIR. REFER TO ROOM FINISH SCHEDULE.



2 1.FIRST FLOOR COMPOSITE PLAN - SAVAGE ELEMENTARY  
1/16" = 1'-0"

1 1.FIRST FLOOR COMPOSITE PLAN - TYLER ELEMENTARY  
1/16" = 1'-0"

Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



Project Administrator  
A. Maurer  
Project Designer  
A. Pfeiffer  
Project Architect / Engineer  
C. King  
Drawn By  
A. Pfeiffer  
Q.M. Review  
N. LaForest  
Approved  
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Bids 09-13-2024

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IDS Drawing Title

First Floor Composite Plan

105 Project Number Drawing Number

20111-3008 1. A0.1

## GENERAL NOTES

### DEMOLITION PLAN

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY DUSTPROOF PARTITIONS WITH DOORS AT LOCATIONS INDICATED AND/OR AS REQUIRED TO ADEQUATELY SEPARATE OCCUPIED AREAS FROM CONSTRUCTION HAZARDS, NOISE AND/OR DUST. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE ALL LOCATIONS WITH ARCHITECT'S/OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE DUST MATS AT ALL CONSTRUCTION AREA ENTRANCES AND EXIT LOCATIONS. COORDINATE ALL LOCATIONS WITH ARCHITECT'S/OWNER'S REPRESENTATIVES.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES FOR PORTIONS OF THE BUILDING THAT REMAIN OCCUPIED DURING CONSTRUCTION.
- COORDINATE SCOPE AND EXTENT OF DEMOLITION WITH NEW WORK PLANS AND DETAILS.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.

## KEYNOTES

### DEMOLITION PLAN

SHADED ITEMS HAVE BEEN REVISED FROM PREVIOUS NOTE: NOT ALL KEYNOTES MAY BE USED

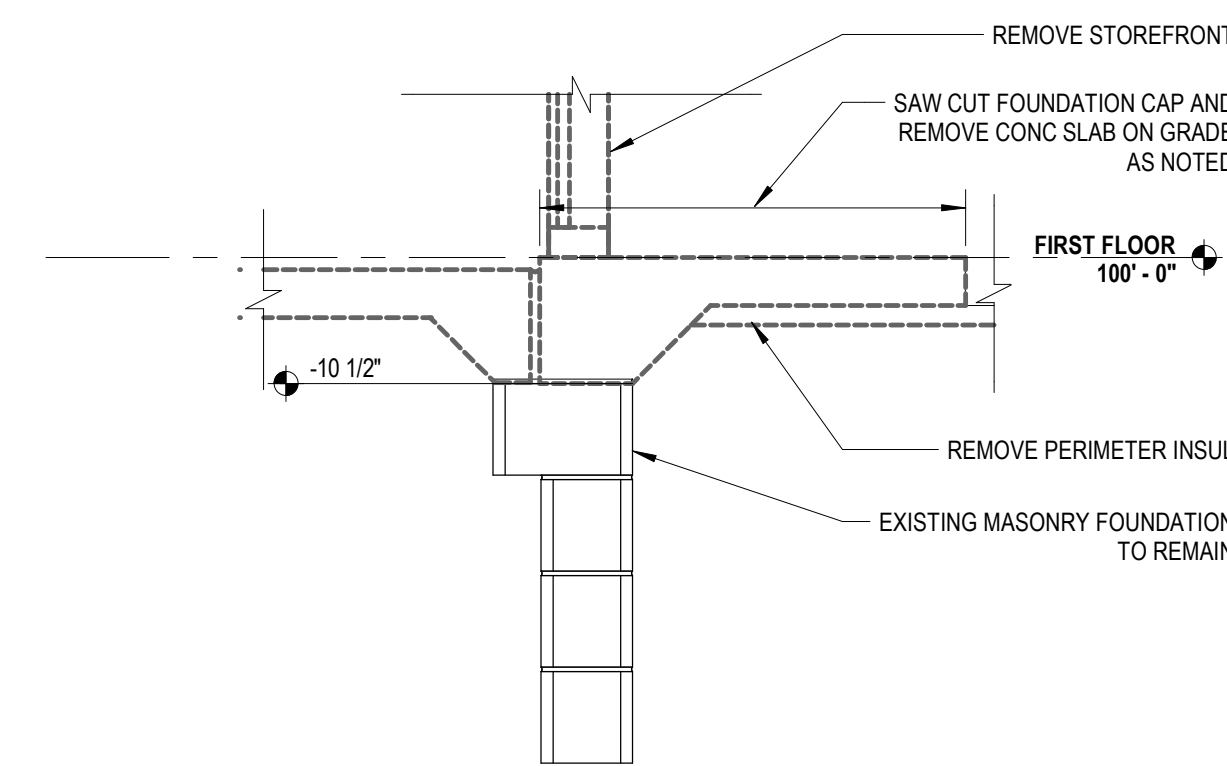
- 1 LEGEND SYMBOL INDICATOR
- D1 REMOVE COLUMN IN ITS ENTIRETY
- D2 REMOVE PORTION OF MASONRY WALL. COORDINATE WITH NEW WORK PLANS.
- D3 REMOVE PORTION OF GYPSUM BOARD / METAL STUD PARTITION. COORDINATE WITH NEW WORK PLANS.
- D4 REMOVE DOORS, STOREFRONT FRAMING, GLAZING, SILL, SEALANT, ANCHORS, WOOD BLOCKING, AND ASSOCIATED SOFFIT / CEILING ELEMENTS AS REQUIRED FOR INSTALLATION OF NEW WORK.
- D5 REMOVE DOOR, FRAME, AND SILL IN ITS ENTIRETY.
- D6 REMOVE OPERABLE PARTITION WALL AND FRAMING IN ITS ENTIRETY.
- D7 SAW CUT AND REMOVE PORTION OF CONCRETE FLOOR SLAB. COORDINATE WITH NEW WORK AND PLUMBING PLANS.
- D8 REMOVE ACOUSTICAL CEILING TILES AND GRID.
- D9 REMOVE CARPET, BASE AND ADHESIVE DOWN TO TOP OF STRUCTURAL SLAB.
- D10 SALVAGE CLASSROOM PROJECTOR, PROJECTOR SCREEN, AND CEILING SPEAKERS.
- D11 SALVAGE WALL-MOUNTED PAPER TOWEL DISPENSER AND SOAP DISPENSER.
- D12 REMOVE CERAMIC TILE, TILE BASE, MARBLE SILL, AND GROUT DOWN TO TOP OF STRUCTURAL SLAB.
- D13 REMOVE BASE CABINETS, SINK, COUNTERTOP, BACKSPLASH AND/OR WALL MOUNTED CABINETS.
- D14 REMOVE MARKERBOARD / TACKBOARD / WHITEBOARD IN ITS ENTIRETY.
- D15 REMOVE ACRYLIC PLASTER ON METAL LATH AND SUSPENSION SYSTEM IN ITS ENTIRETY - HEAVY BUILDING STRUCTURE TO REMAIN. COORDINATE CONDITION WITH ARCHITECT ONCE EXPOSED.
- D16 REMOVE VENTED DRIP SCREED
- D17 REMOVE EXTERIOR GLAZED FACE BRICK
- D18 SALVAGE METAL PARAPET FLASHING OR METAL COPING CAP AS NEEDED TO COMPLETE SOFFIT/FASCIA REMOVAL.
- D19 REMOVE GYPSUM BOARD WALL AS REQUIRED TO PERFORM PLUMBING WORK
- D20 REMOVE PORTION OF METAL ROOF DECK OR INSULATING ROOF DECK AS REQUIRED FOR MECHANICAL PENETRATIONS. COORDINATE WITH NEW WORK AND MECHANICAL DRAWINGS.
- D21 REMOVE ROOF SYSTEM MEMBRANE AND RIGID INSULATION AS REQUIRED FOR NEW MECHANICAL EQUIPMENT CURB. METAL DECK TO REMAIN UNLESS NOTED OTHERWISE. COORDINATE WITH NEW WORK AND MECHANICAL DRAWINGS.
- D22 REMOVE PORTION OF ROOF MEMBRANE AS SHOWN. COORDINATE WITH NEW WORK.
- D23 REMOVE SPALLED / DAMAGED CONCRETE AS REQUIRED FOR NEW FINISHES.
- D24 SALVAGE EXISTING BRICK. COORDINATE WITH NEW WORK PLAN DETAIL 1.1.A.2 AND EXTERIOR ELEVATION ON 1.A.1

## LEGEND

### DEMOLITION PLAN

NOTE: NOT ALL SYMBOLS MAY BE USED

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- (X) EXISTING CEILING TO BE REMOVED AS NOTED BY KEYNOTE
- (X) EXISTING FLOOR/FINISH TO BE REMOVED AS NOTED BY KEYNOTE
- (X) SAWCUT AND REMOVE PORTION OF CONG SLAB AS NOTED BY KEYNOTE



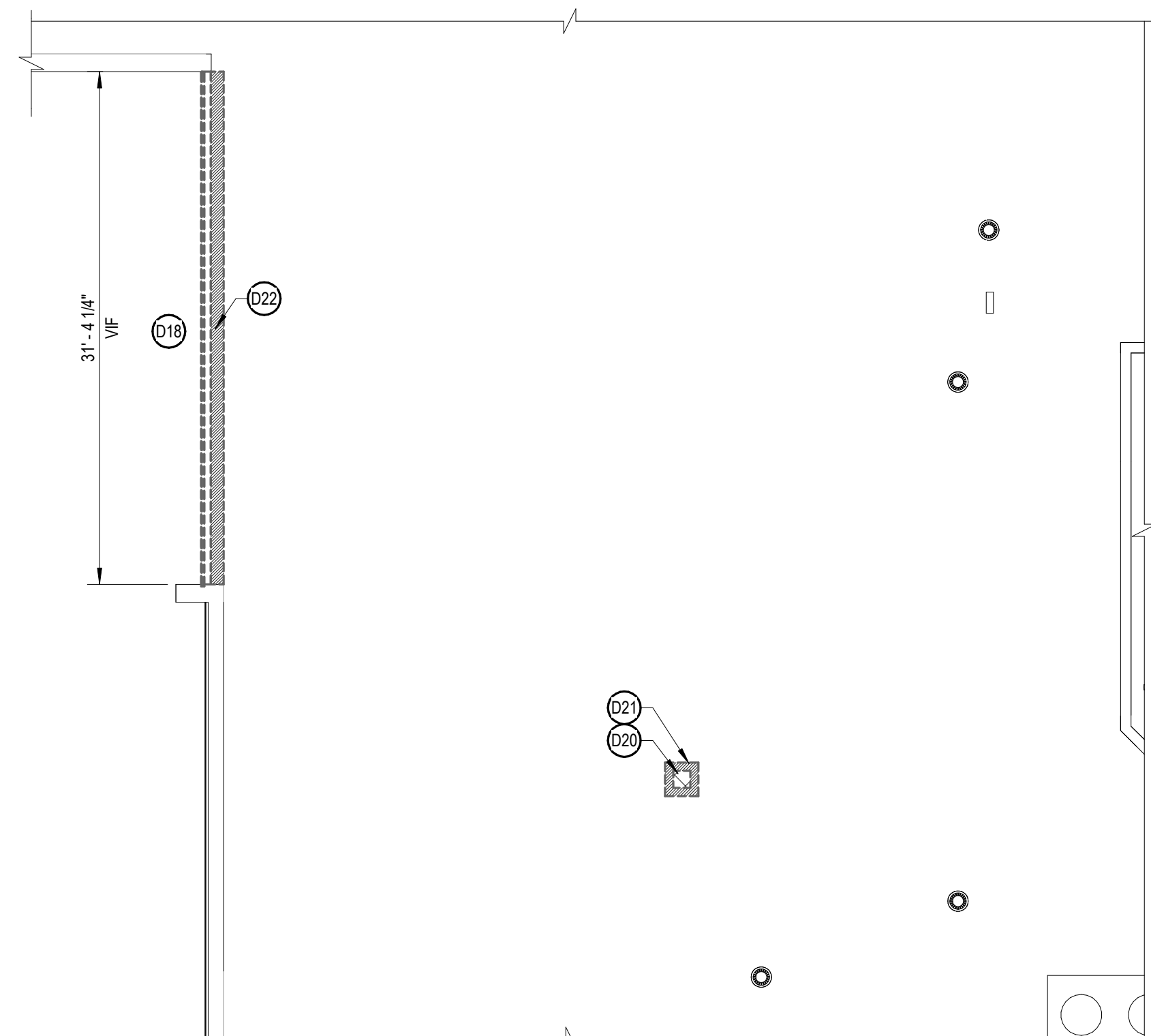
3 DEMO WALL SECTION  
1.A.1.1 3/4" = 1'-0"

## LEGEND

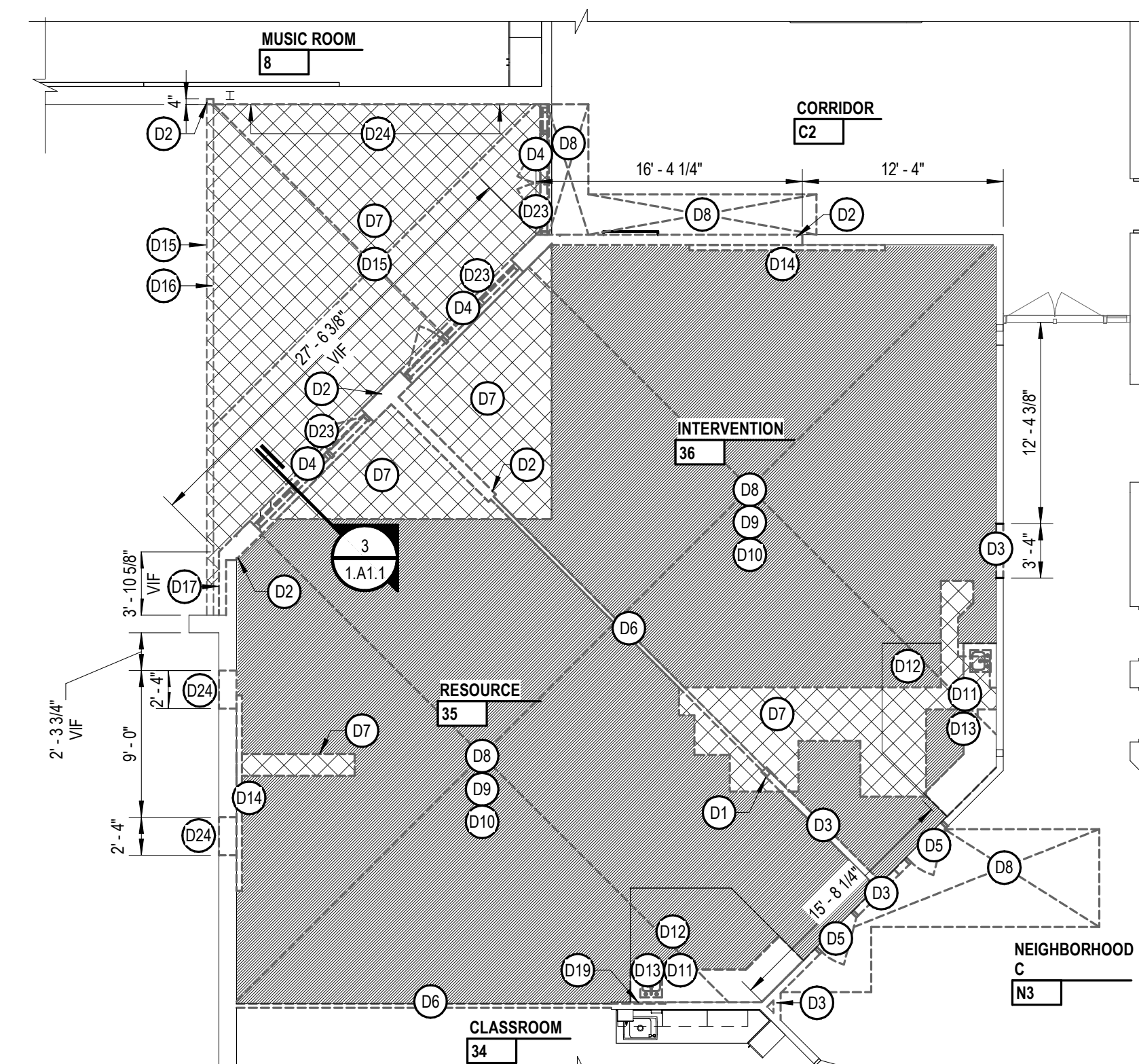
### ROOF DEMOLITION PLAN

NOTE: NOT ALL SYMBOLS MAY BE USED

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- (X) EXISTING ROOF MATERIAL TO BE REMOVED AS NOTED BY KEYNOTE
- (X) CUT AND REMOVE PORTION OF METAL DECK AS NOTED BY KEYNOTE



2 ENLARGED ROOF DEMO PLAN - TYLER ELEMENTARY  
1.A.0.2 1/8" = 1'-0"  
SAVAGE ELEMENTARY - SIM OPP HAND



1 ENLARGED DEMO PLAN - TYLER ELEMENTARY  
1.A.0.1 1/8" = 1'-0"  
SAVAGE ELEMENTARY - SIM OPP HAND

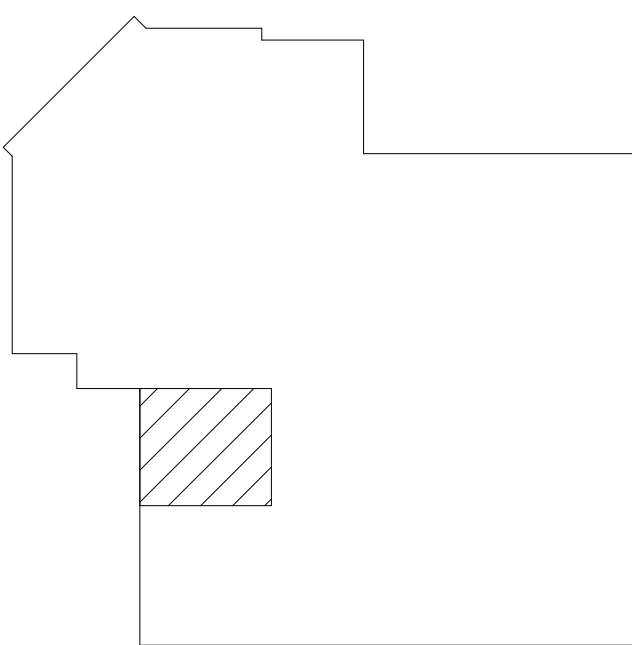
Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



Project Administrator

A. Maurer

Project Designer

A. Pfeiffer

Project Architect / Engineer

C. King

Drawn By

A. Pfeiffer

Approved

N. LaForest

Approved

B. Sundberg

Drawing Scale

As Noted

Issued for

Issue Date

Design Development 06-24-2024

Quality Management Review 08-23-2024

Bids 09-13-2024

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iDS Drawing Title

Demolition Plans

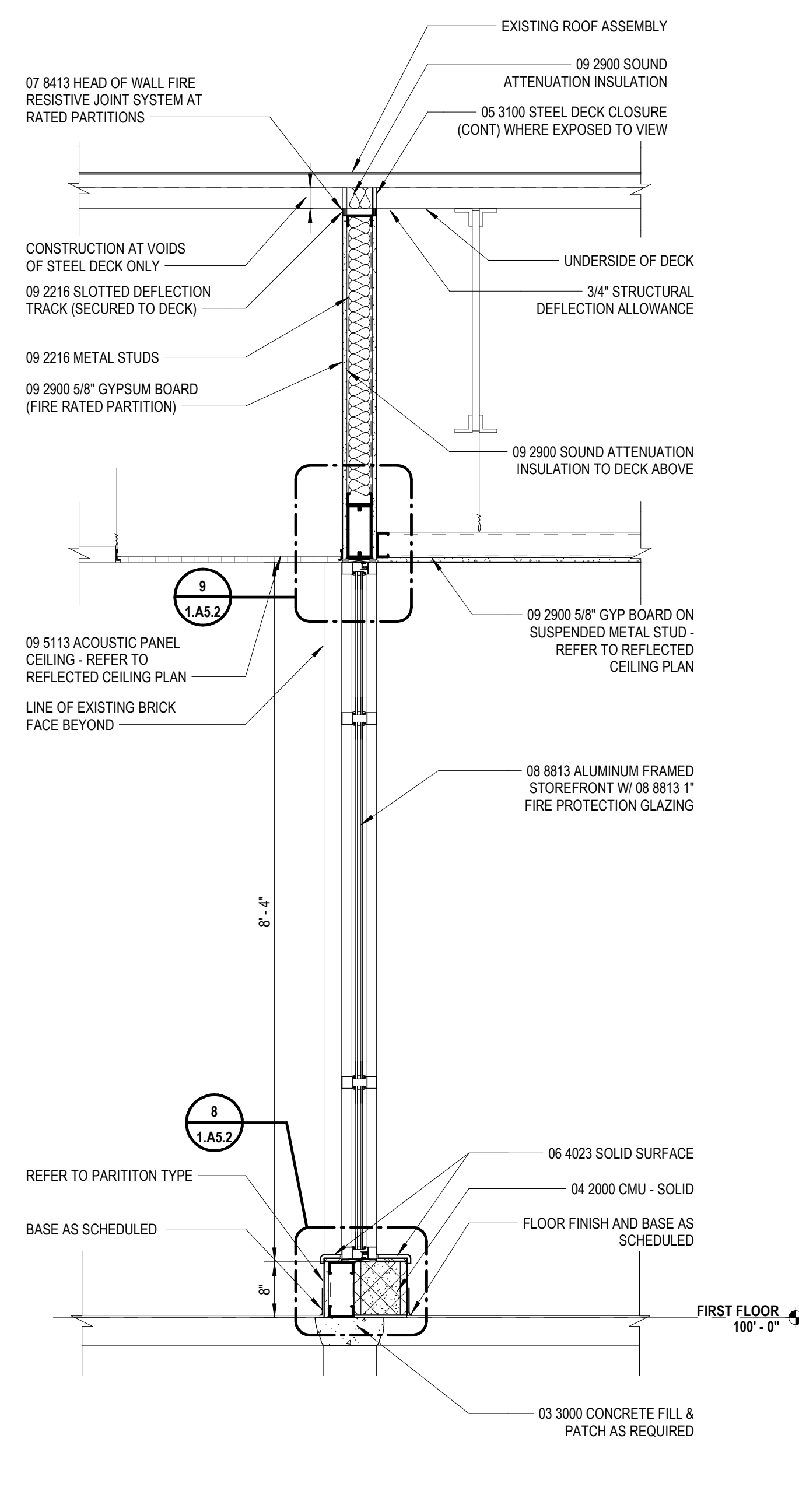
105 Project Number

Drawing Number

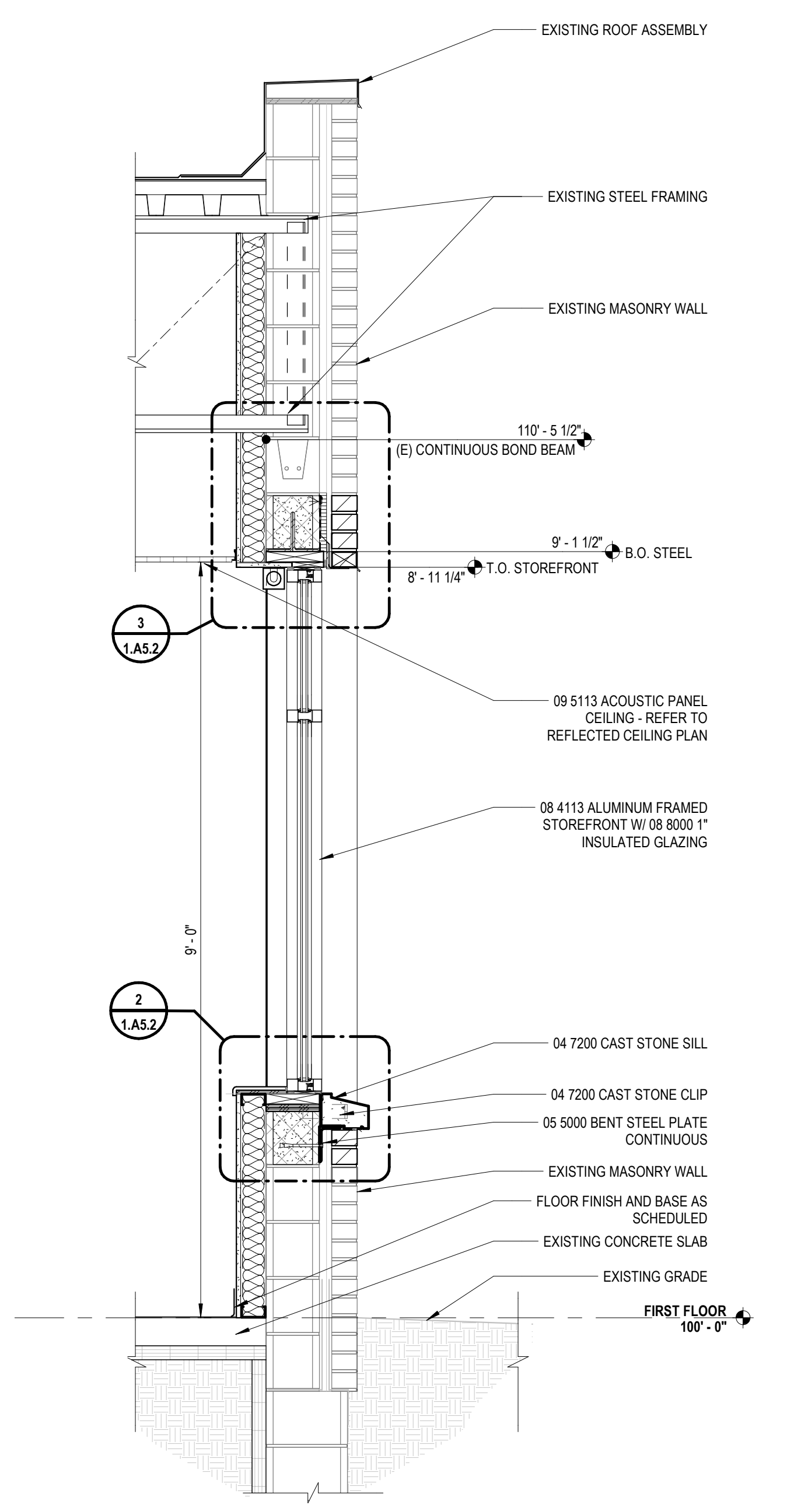
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1.A.1.1

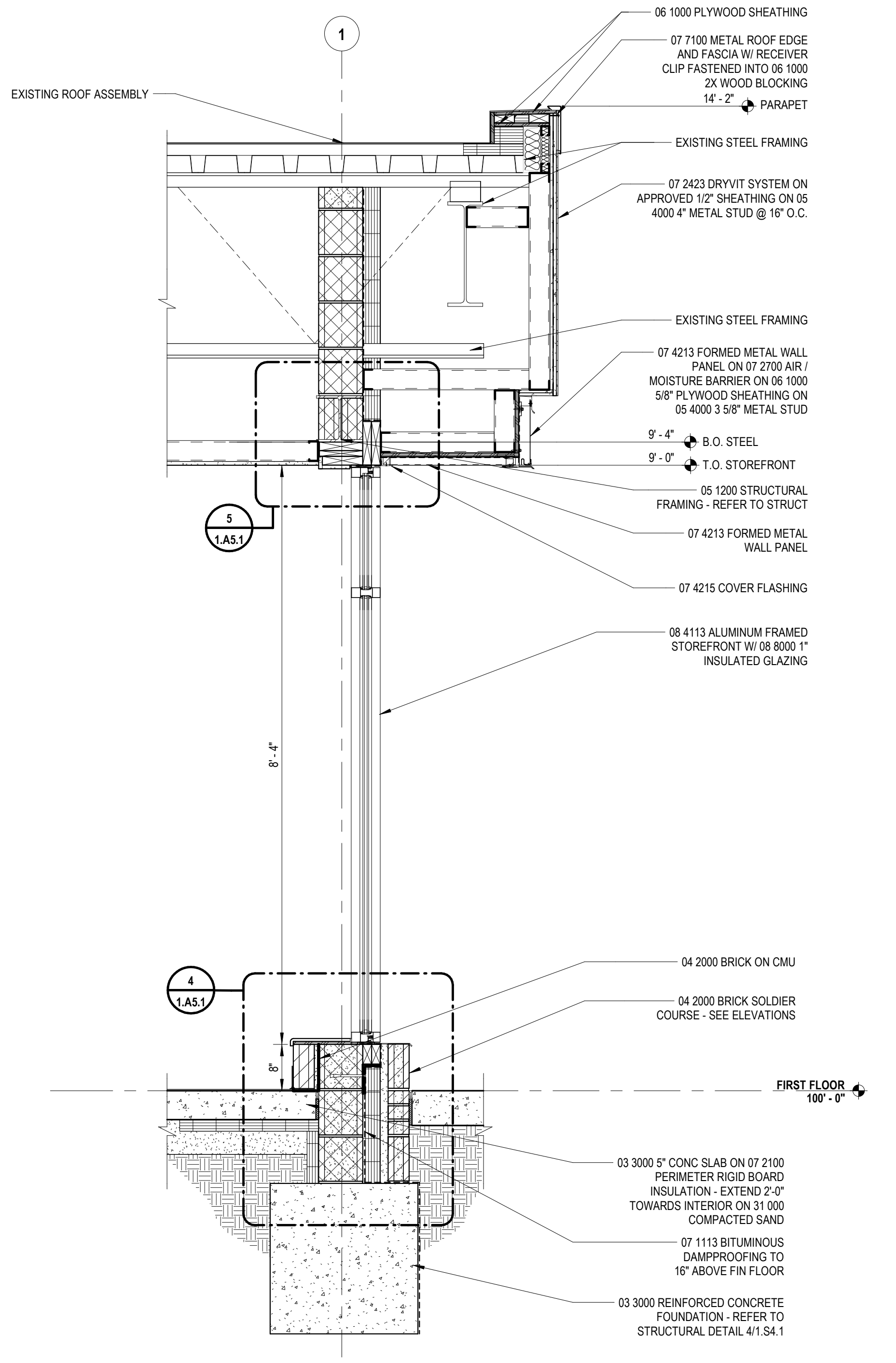




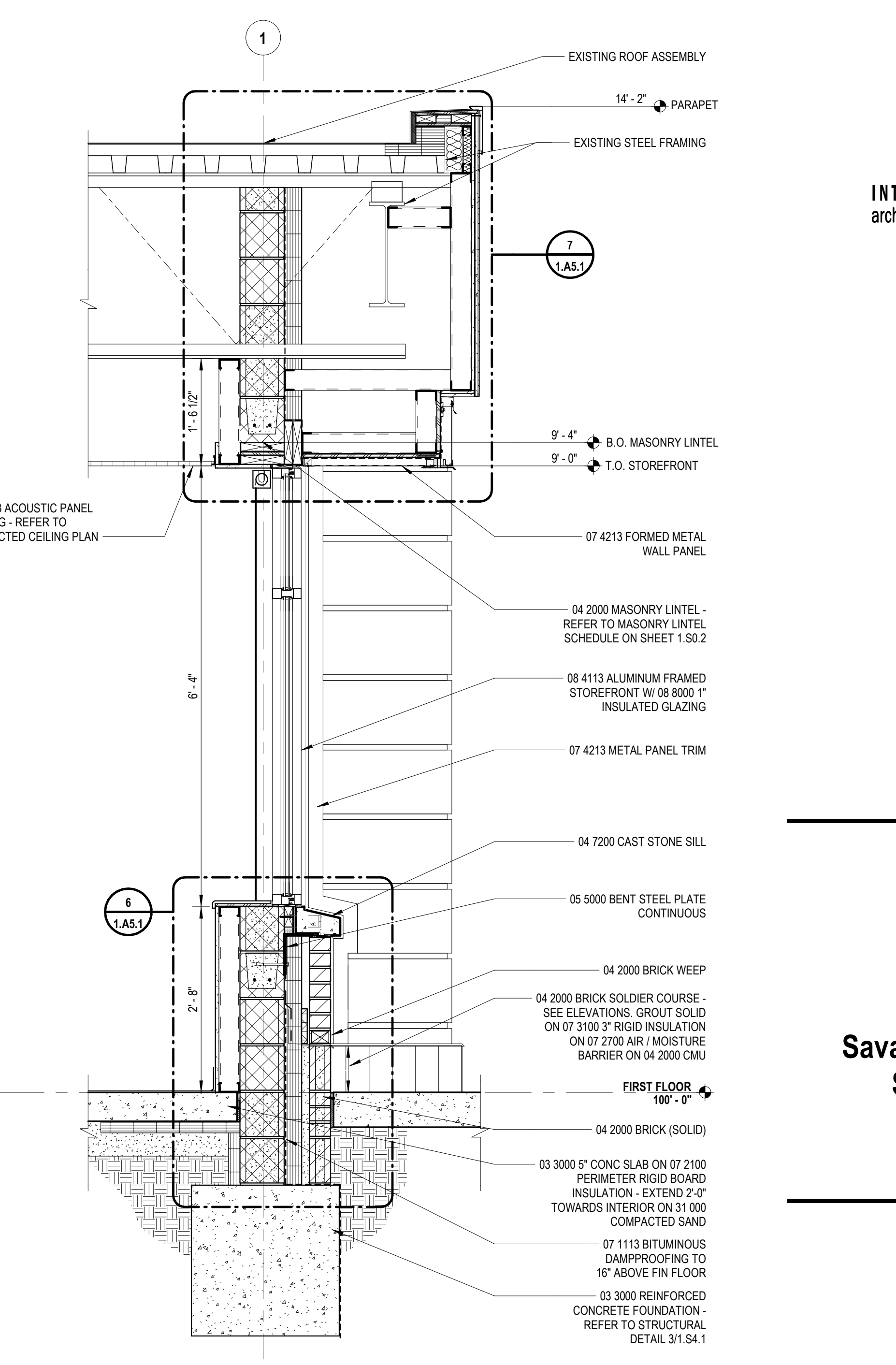
9 WALL SECTION  
1.A.8.1 3/4" = 1'-0"



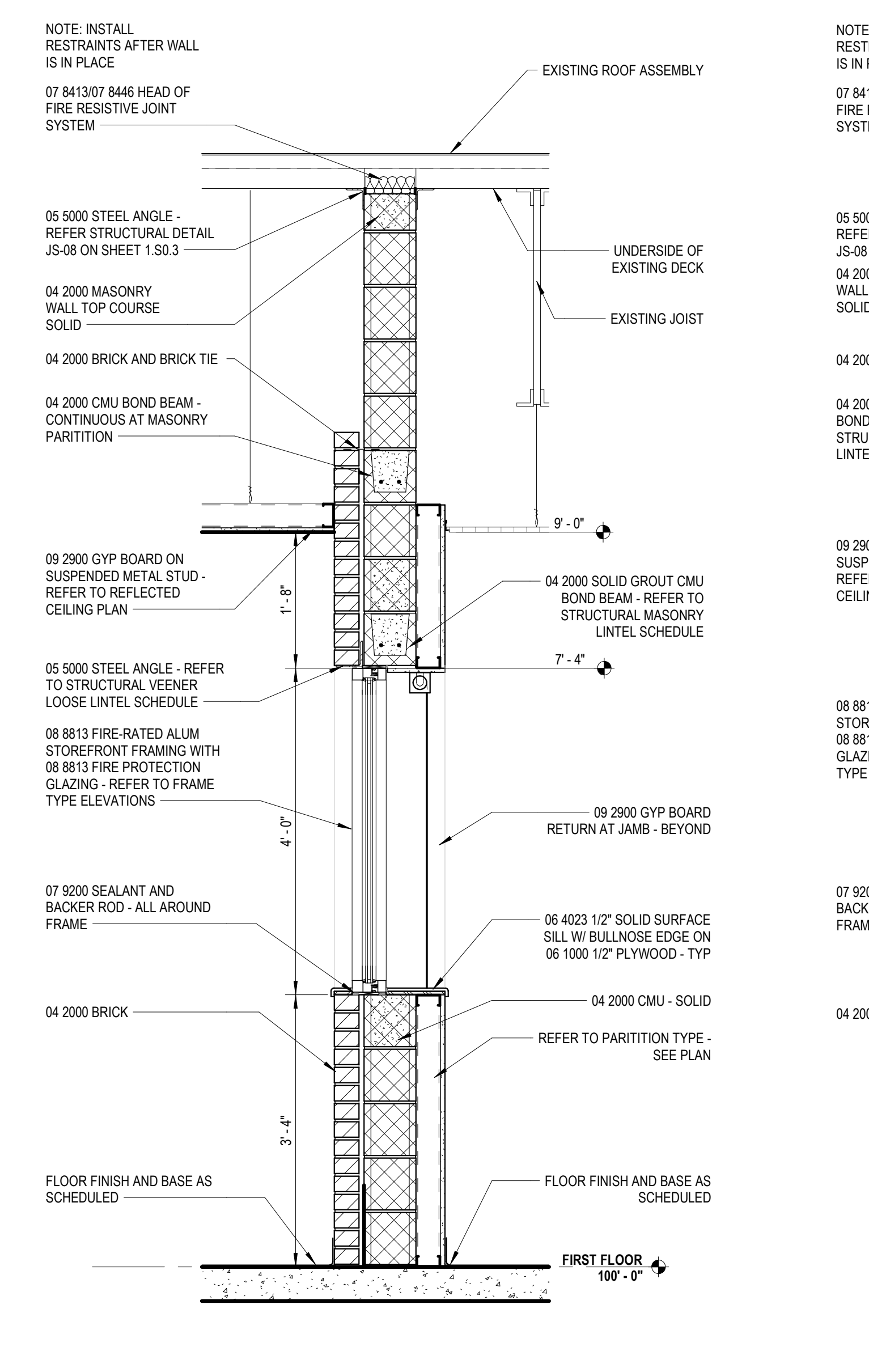
7 WALL SECTION  
1.A.4.1 3/4" = 1'-0"



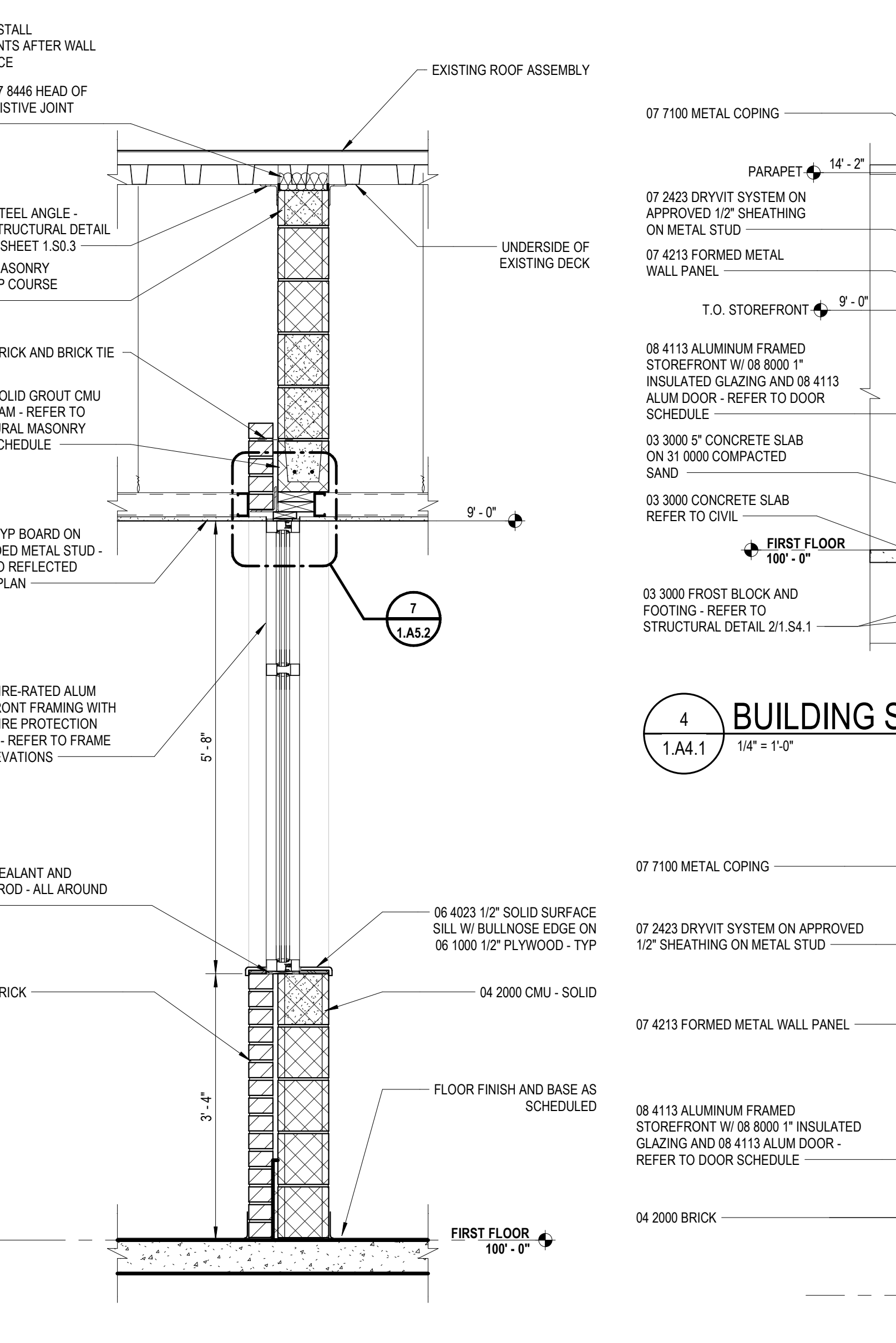
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1.A.4.1 3/4" = 1'-0"



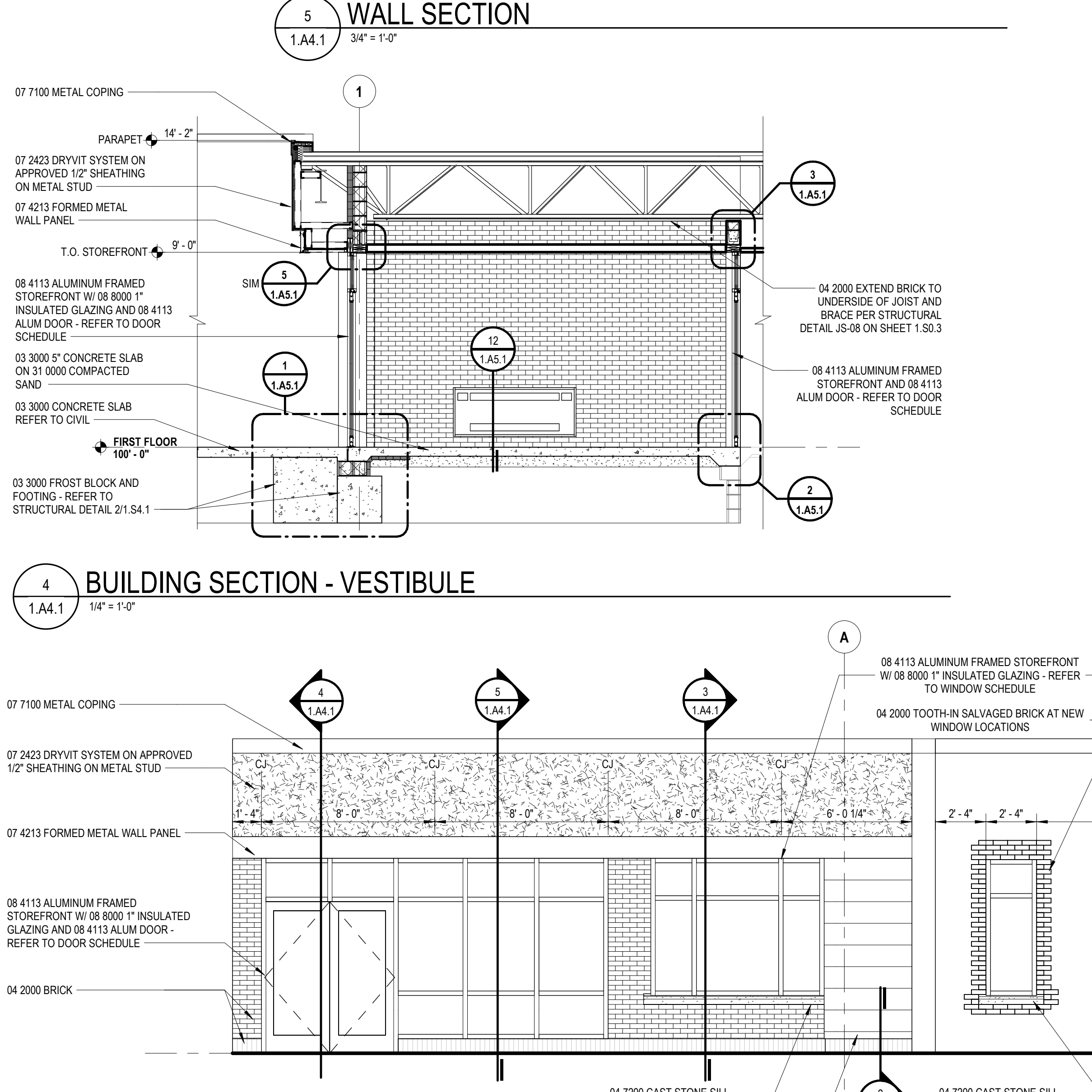
3 WALL SECTION  
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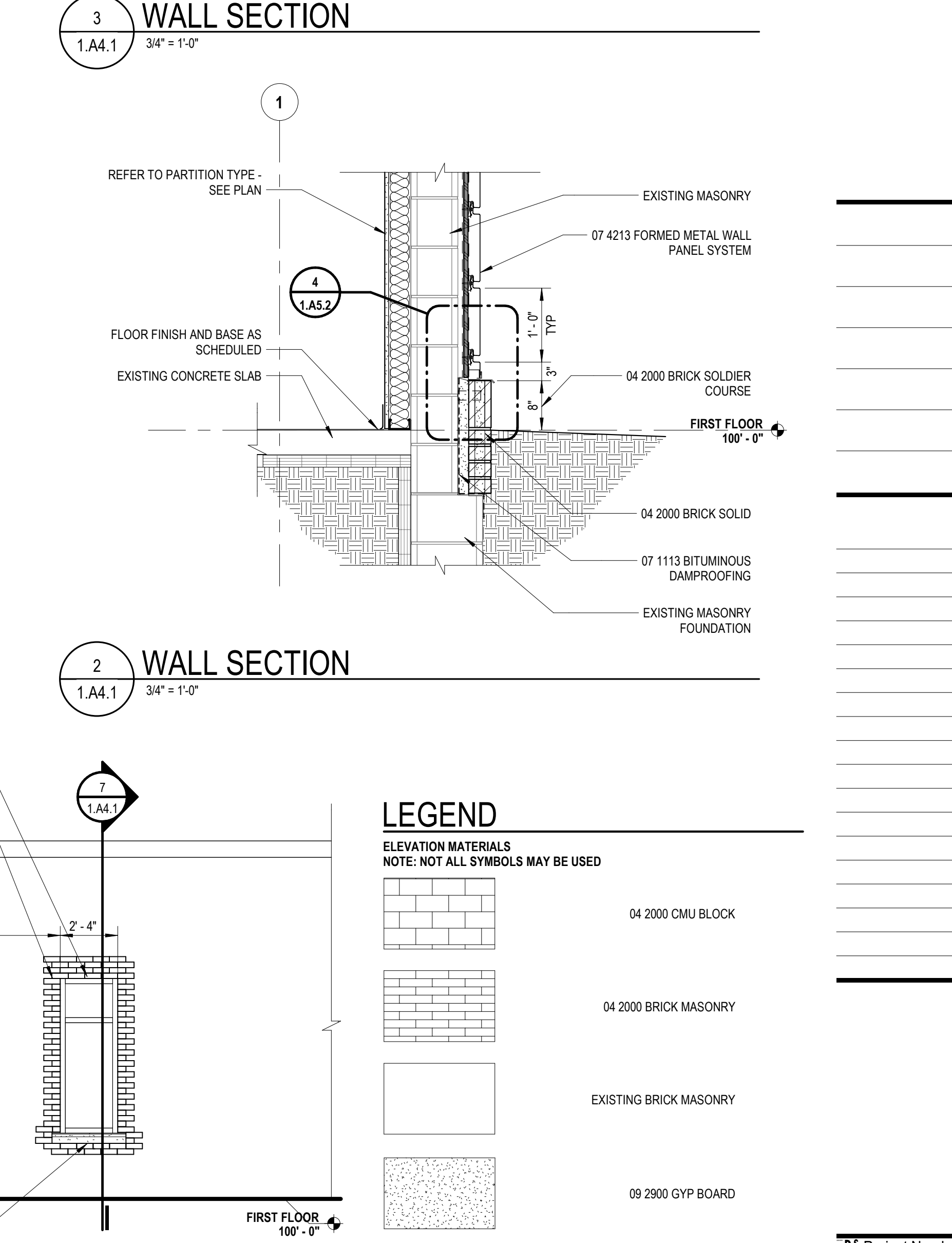
8 SECTION DETAIL  
1.A.8.1 3/4" = 1'-0"



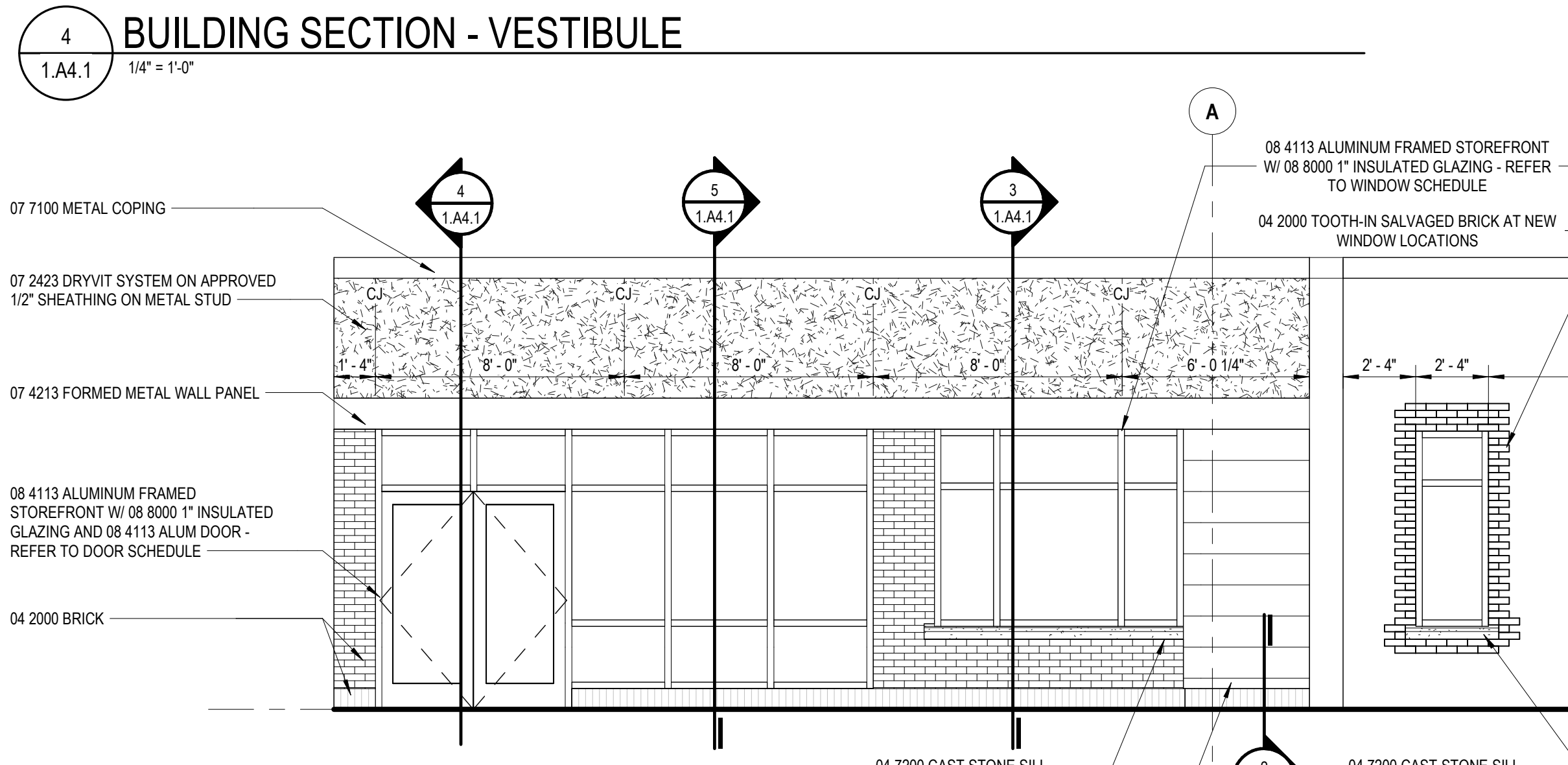
6 SECTION DETAIL  
1.A.8.1 3/4" = 1'-0"



4 BUILDING SECTION - VESTIBULE  
1.A.4.1 1/4" = 1'-0"



2 WALL SECTION  
1.A.4.1 3/4" = 1'-0"



1 EXTERIOR ELEVATION  
1.A.2.1A 1/4" = 1'-0"

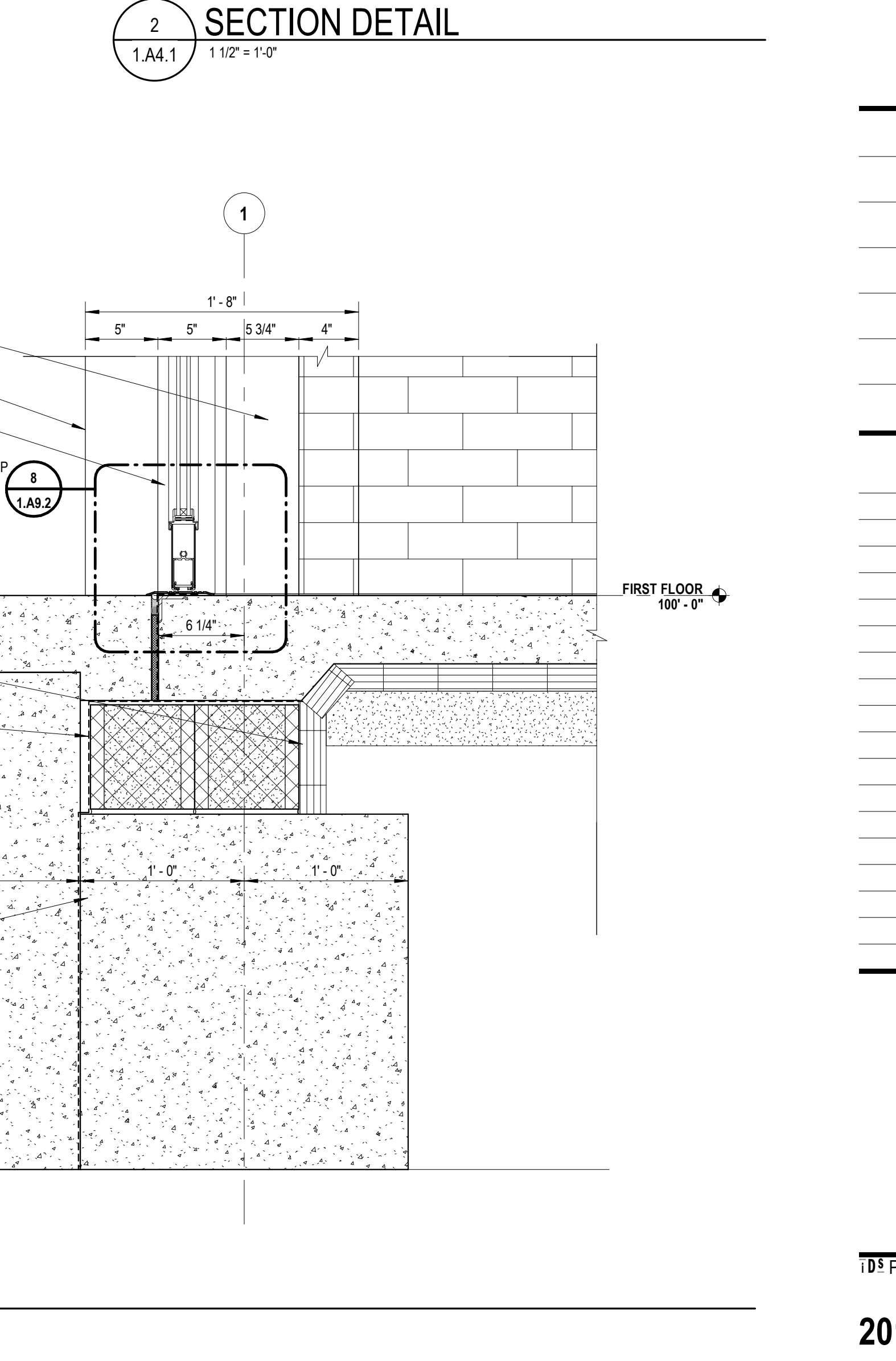
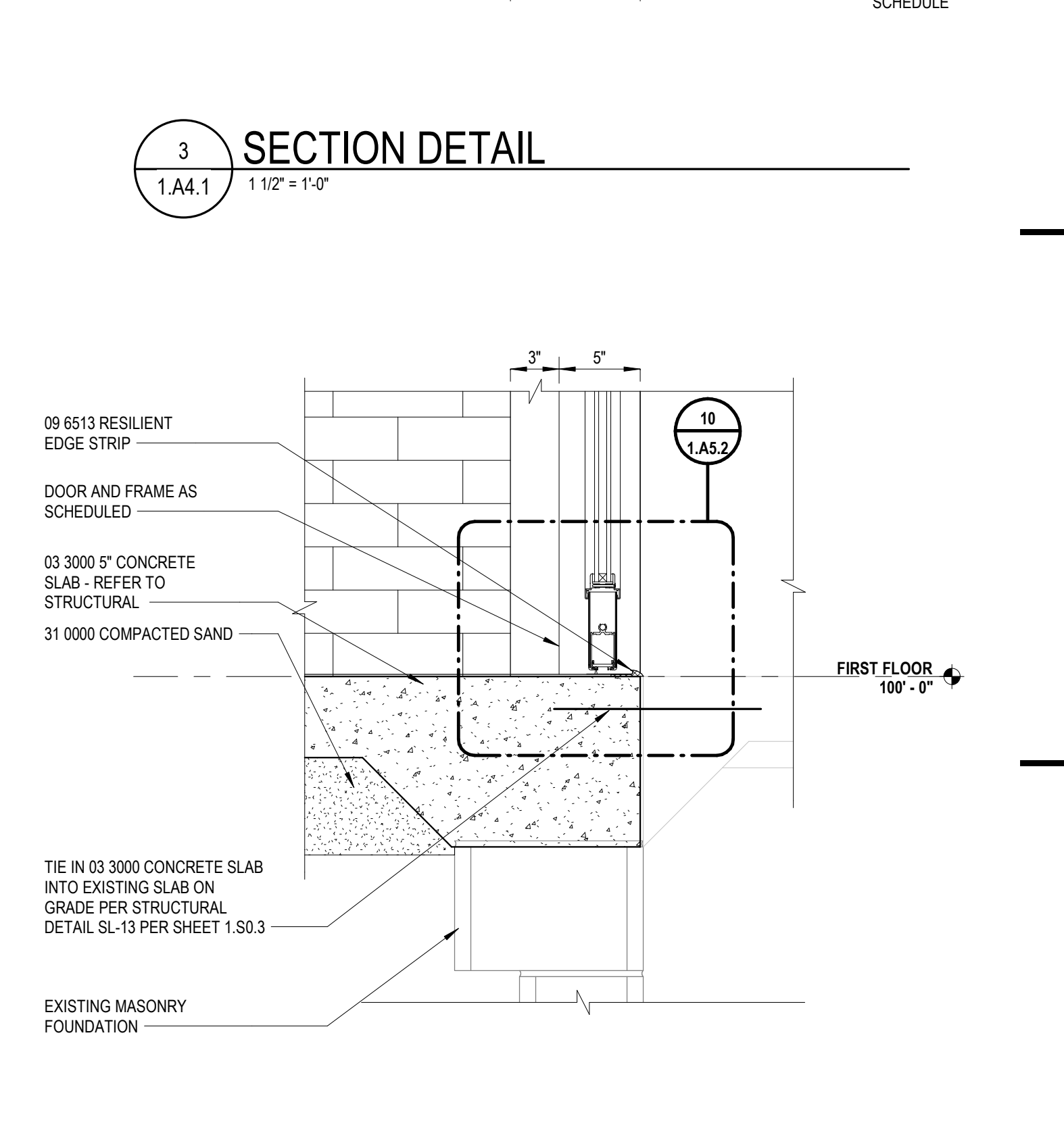
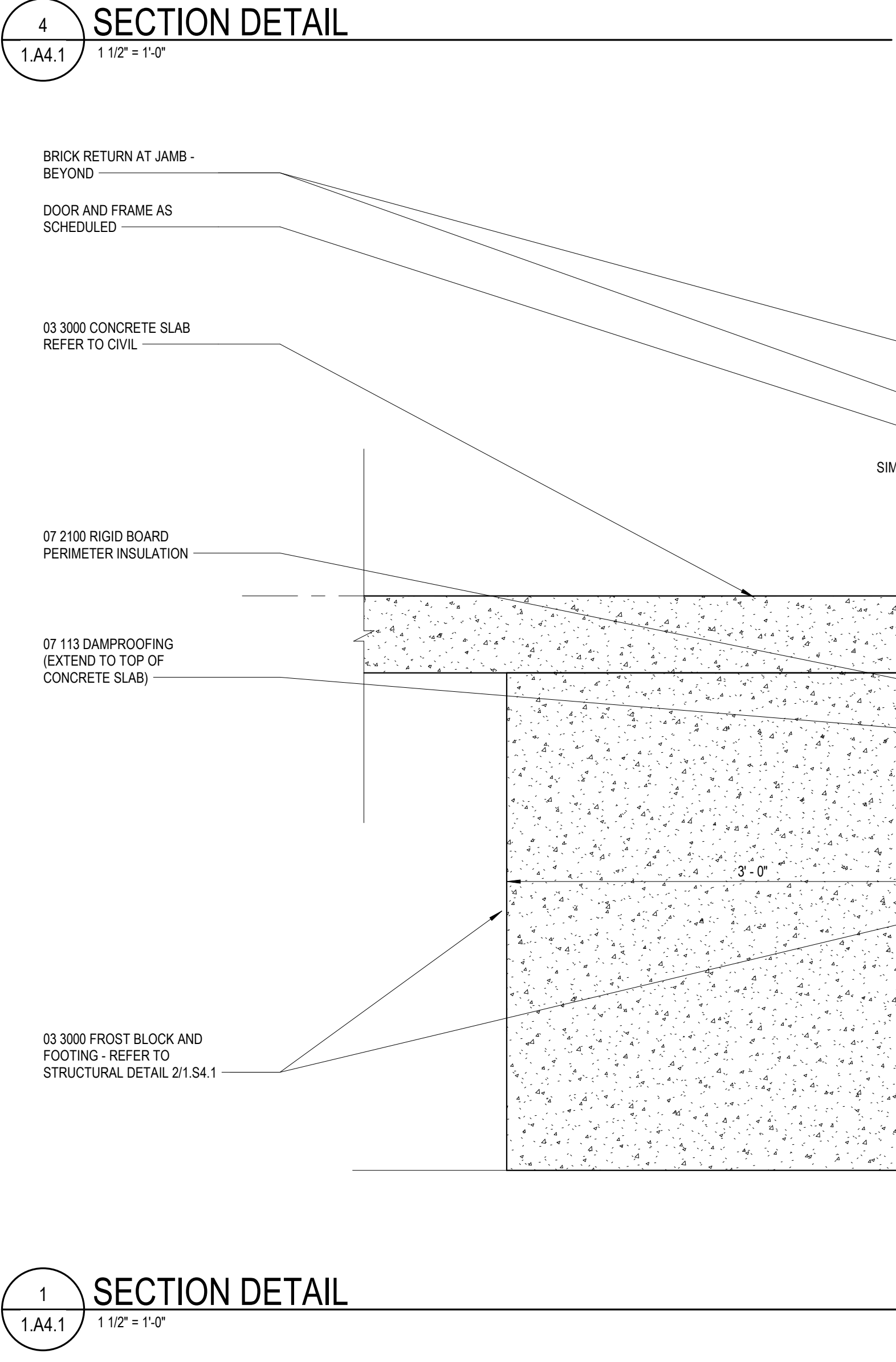
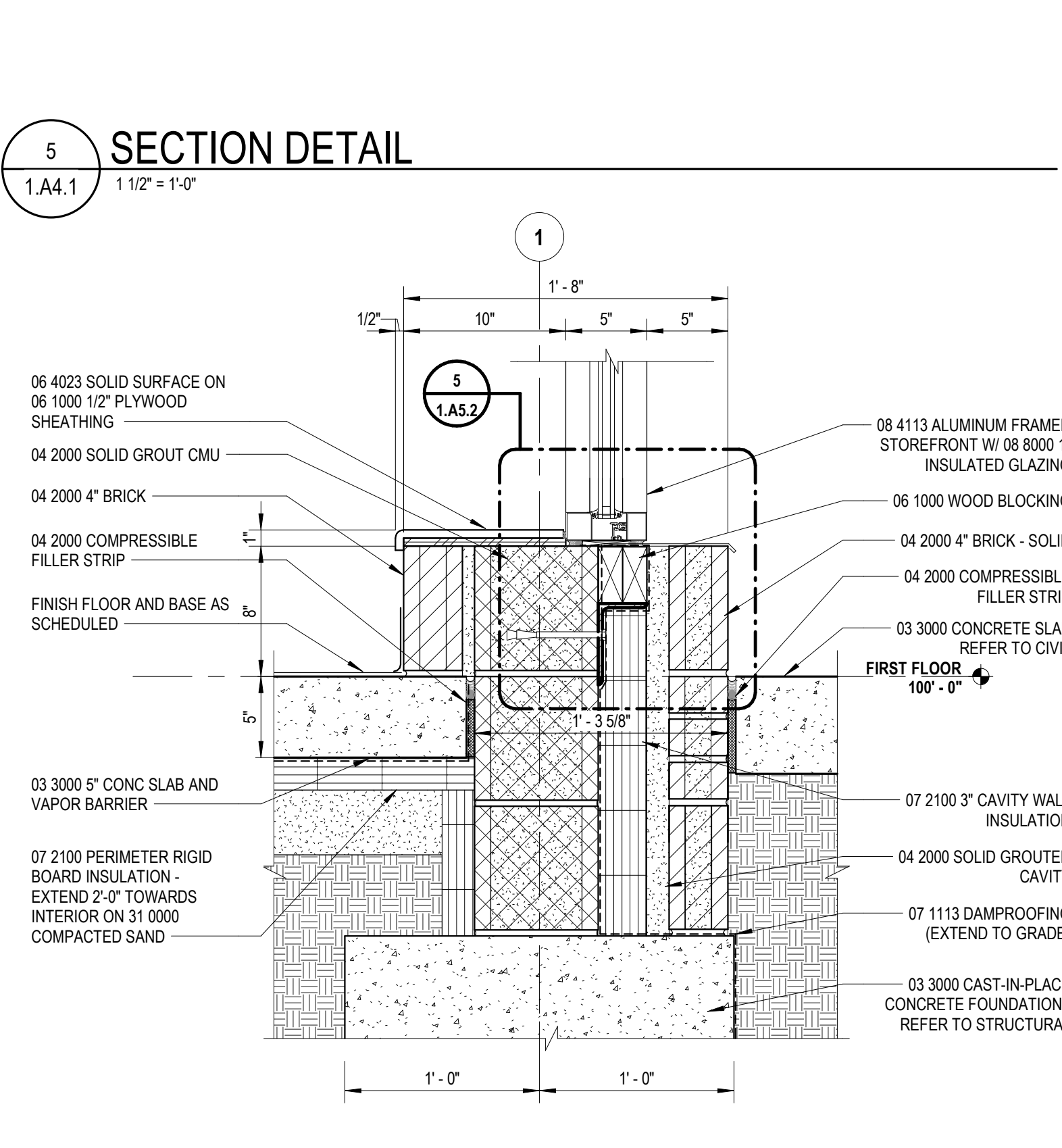
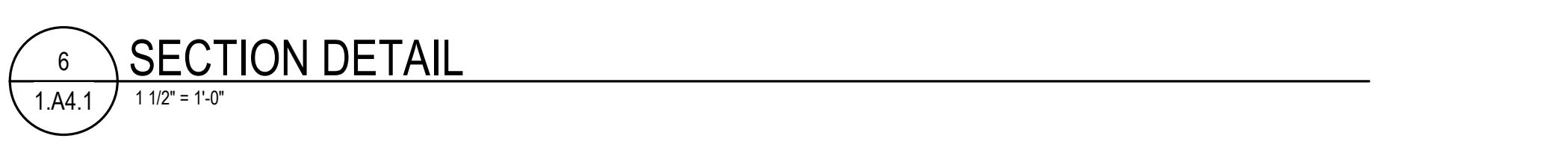
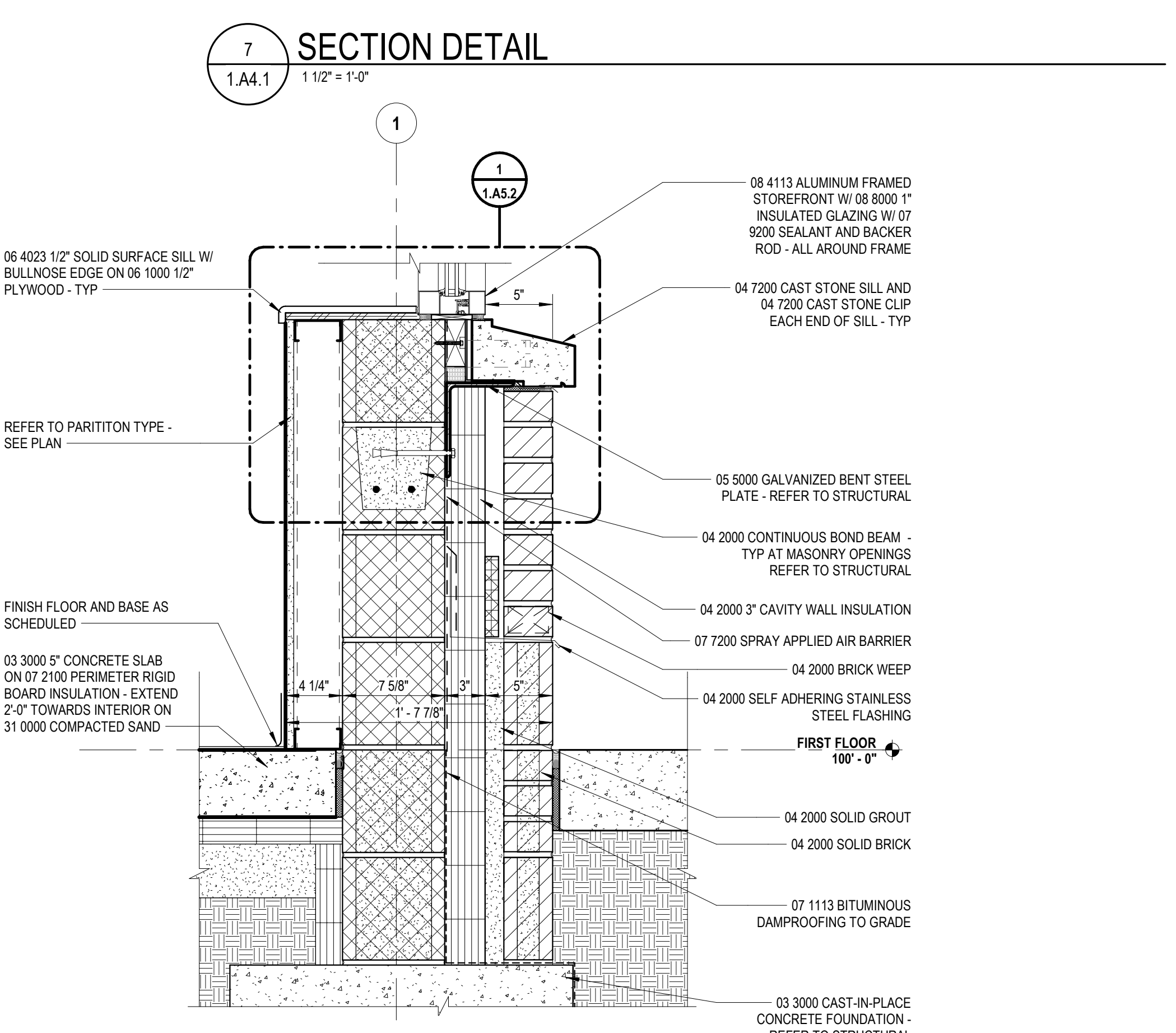
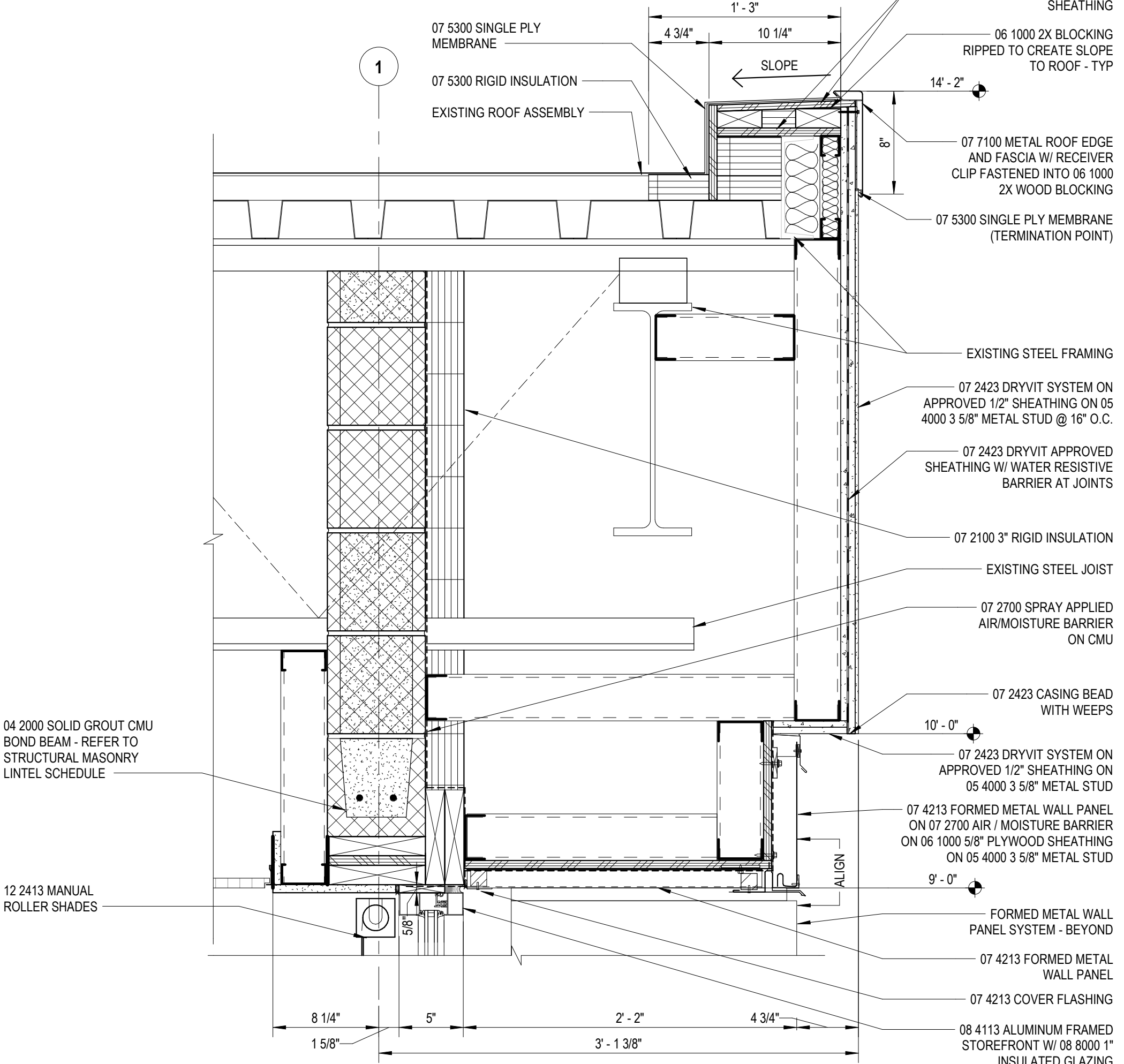
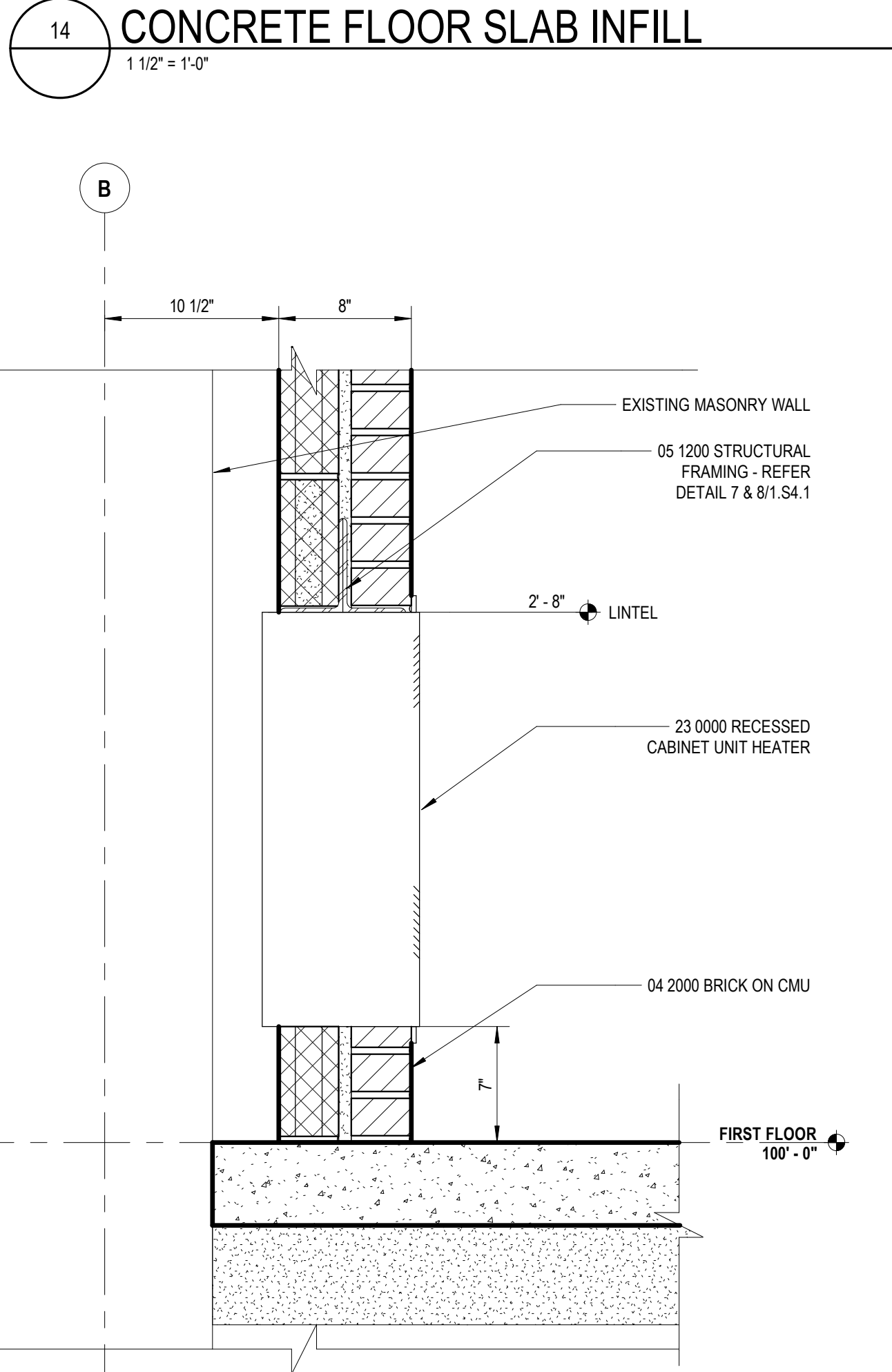
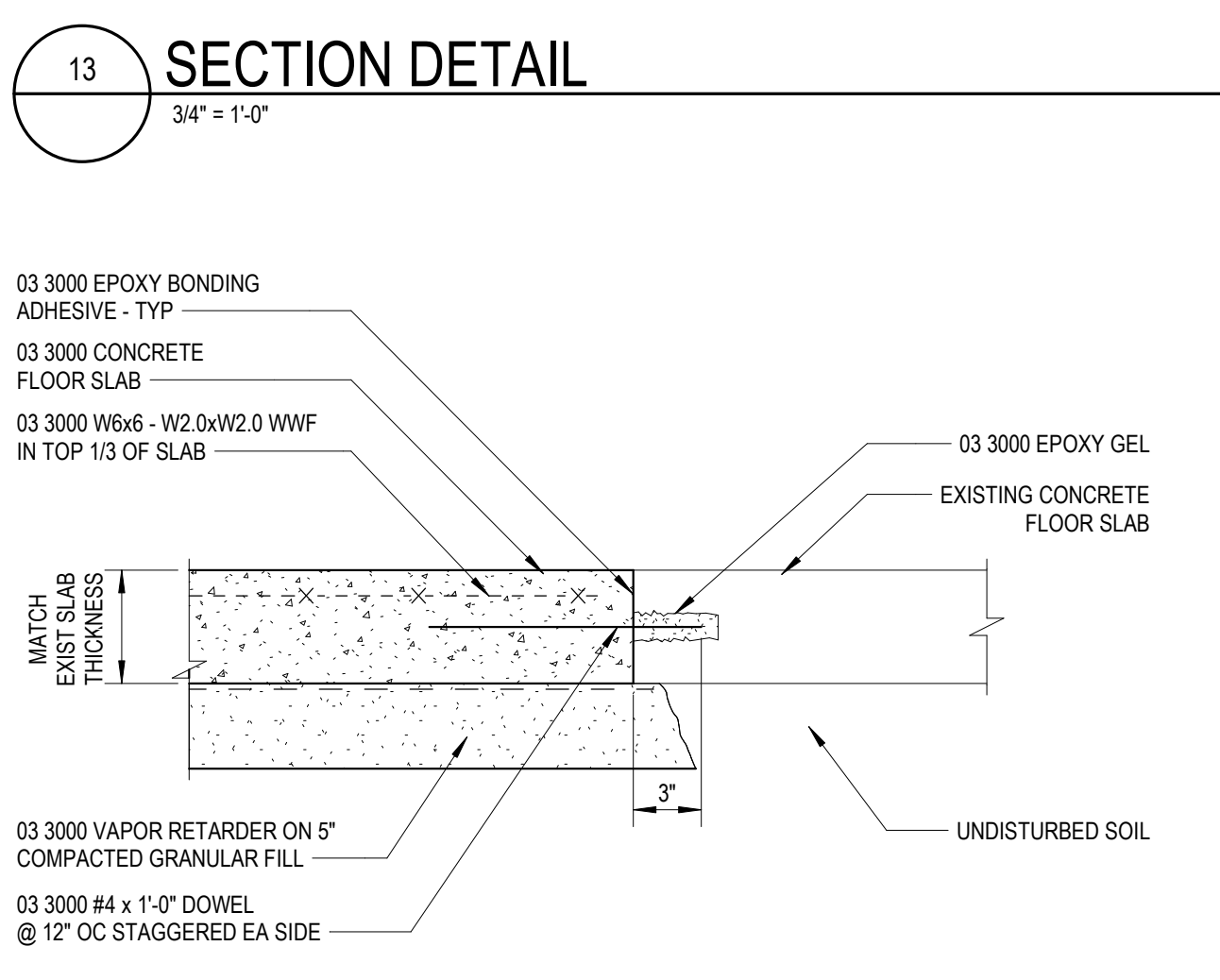
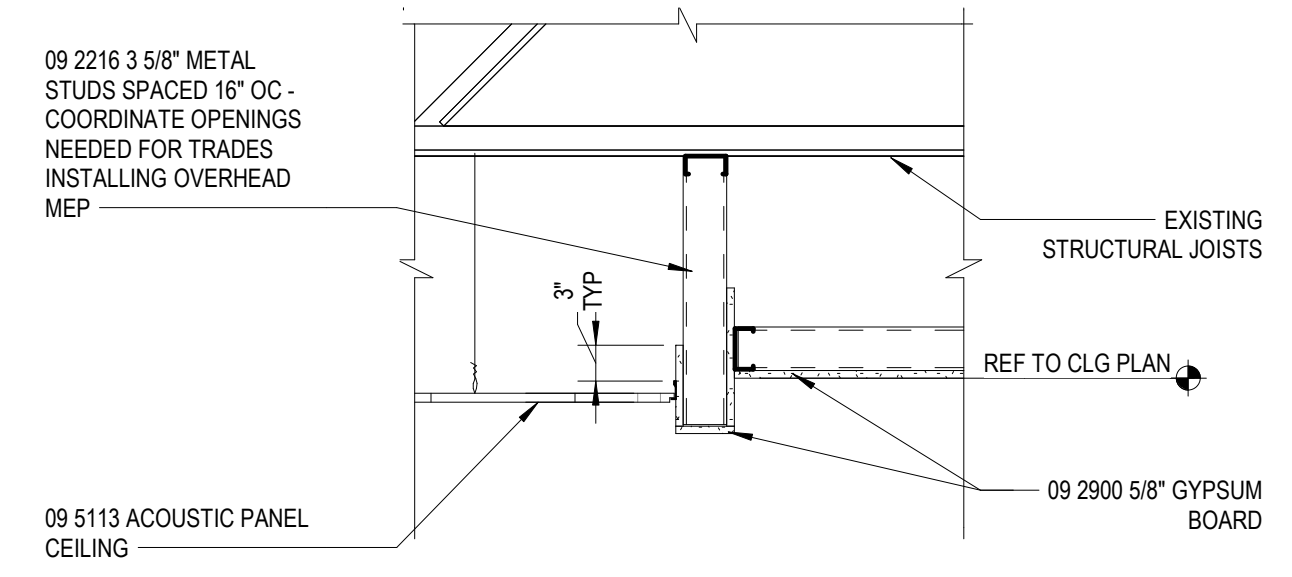
**LEGEND**  
ELEVATION MATERIALS  
NOTE: NOT ALL SYMBOLS MAY BE USED

	04 2000 CMU BLOCK
	04 2000 BRICK MASONRY
	EXISTING BRICK MASONRY
	09 2900 GYP BOARD
	07 2423 DRYVIT SYSTEM

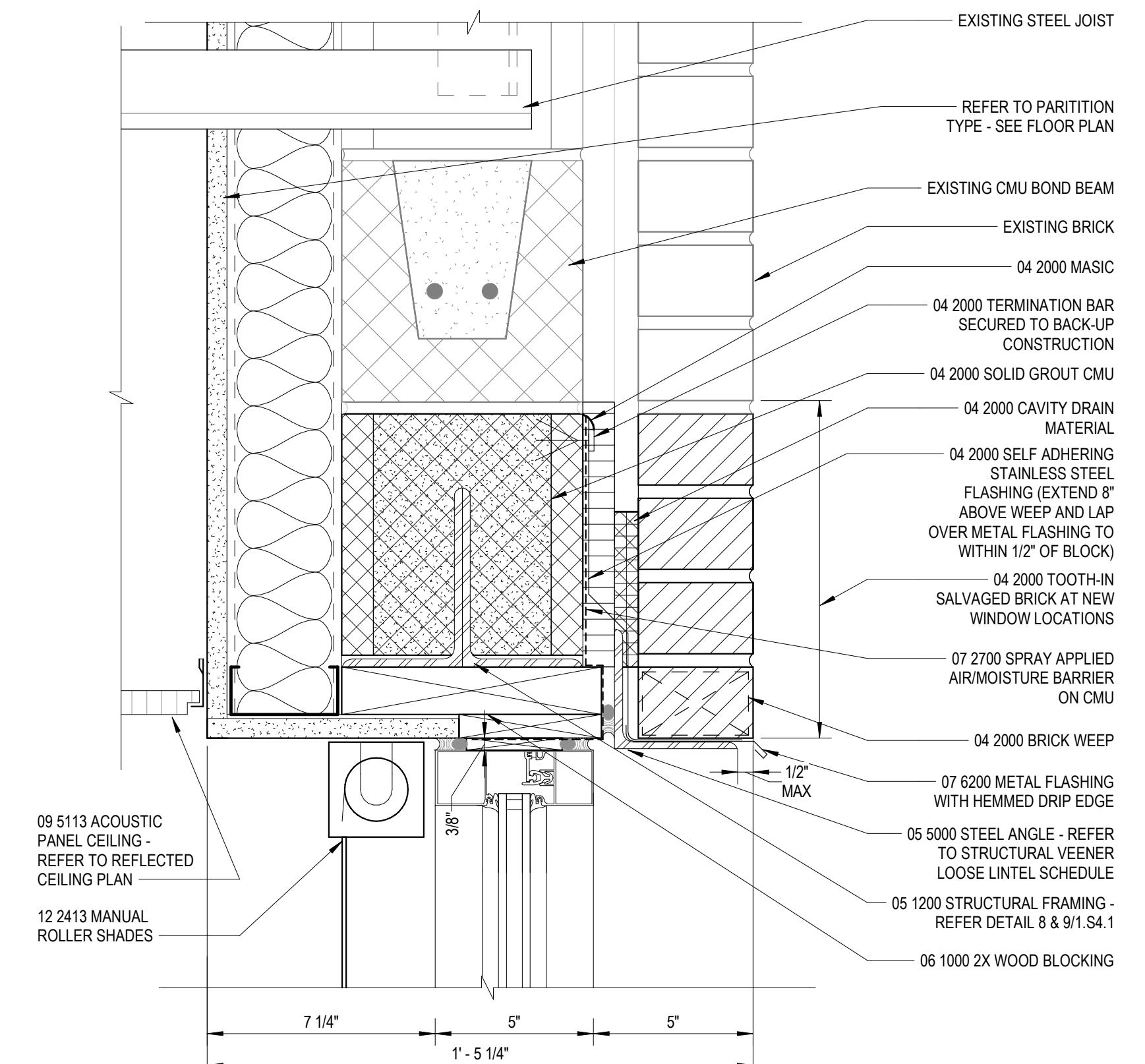
Project Administrator	A. Maurer
Project Designer	A. Peffrey
Project Architect / Engineer	C. King
Drawn By	A. Peffrey
Q.M. Review	N. LaForest
Approved	B. Sundberg
Drawing Scale	As Noted
Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024



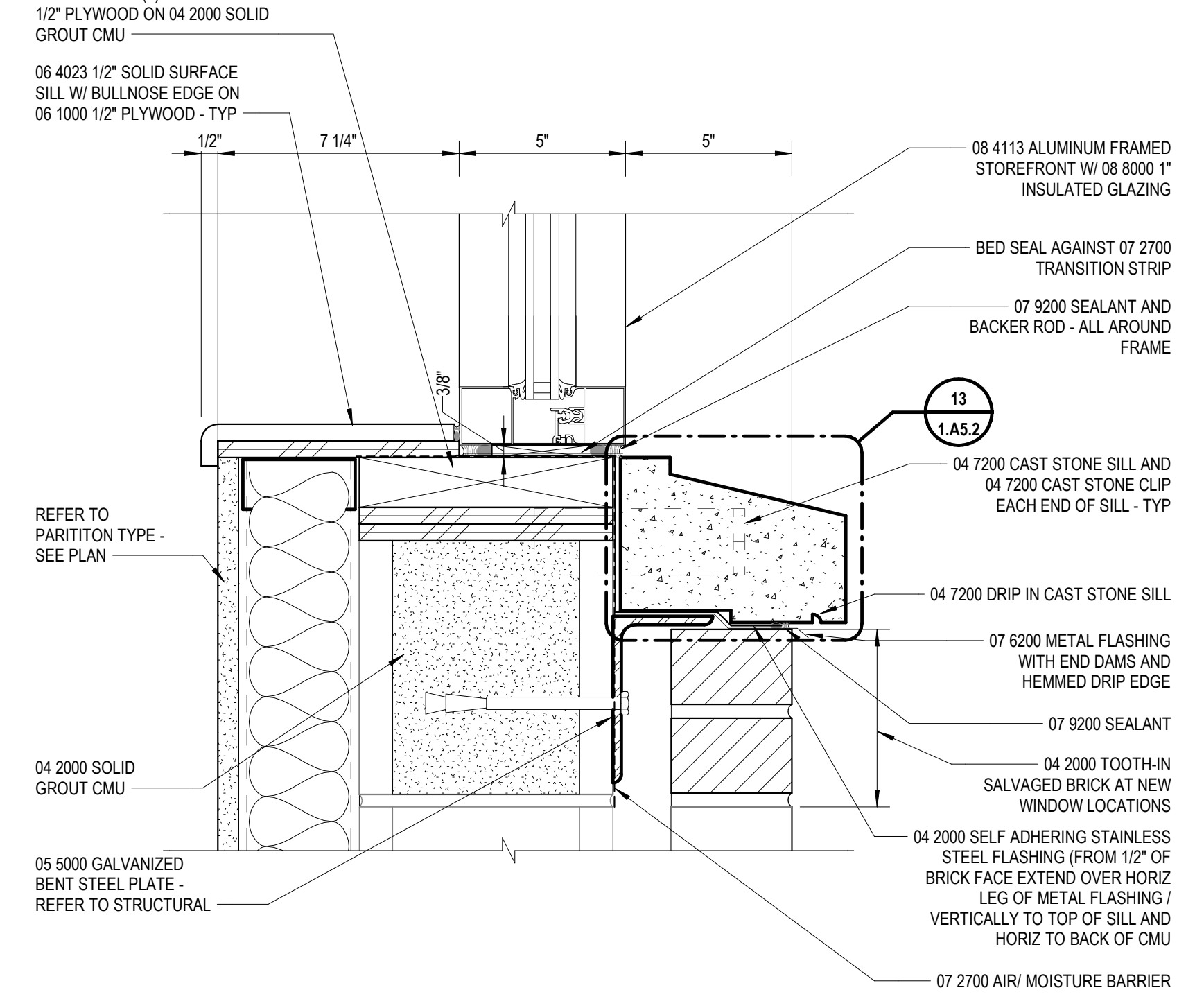
Van Buren Public Schools  
**Savage & Tyler Elementary  
Schools Secured Entry  
Renovations**



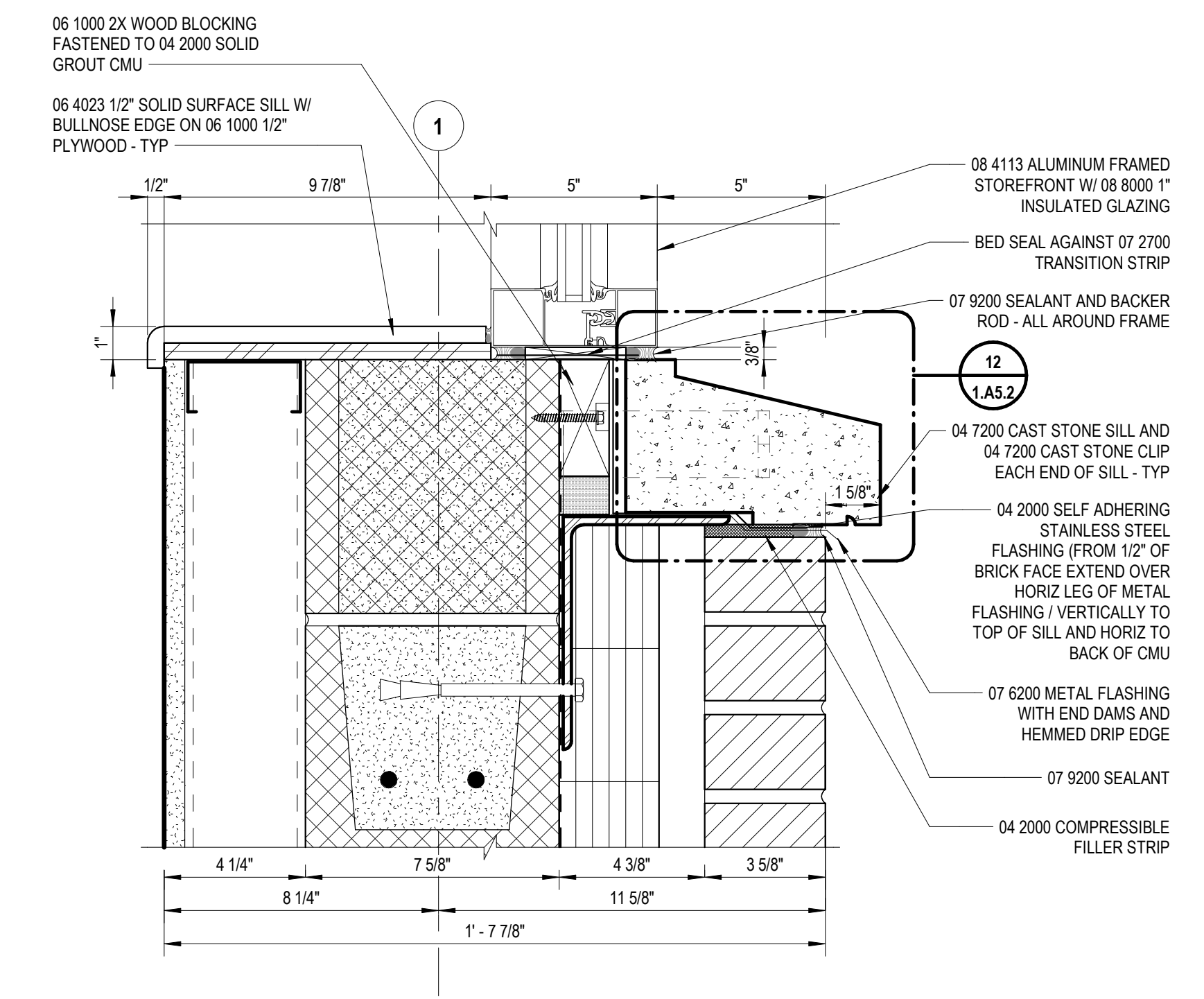
Project Administrator	A. Maurer
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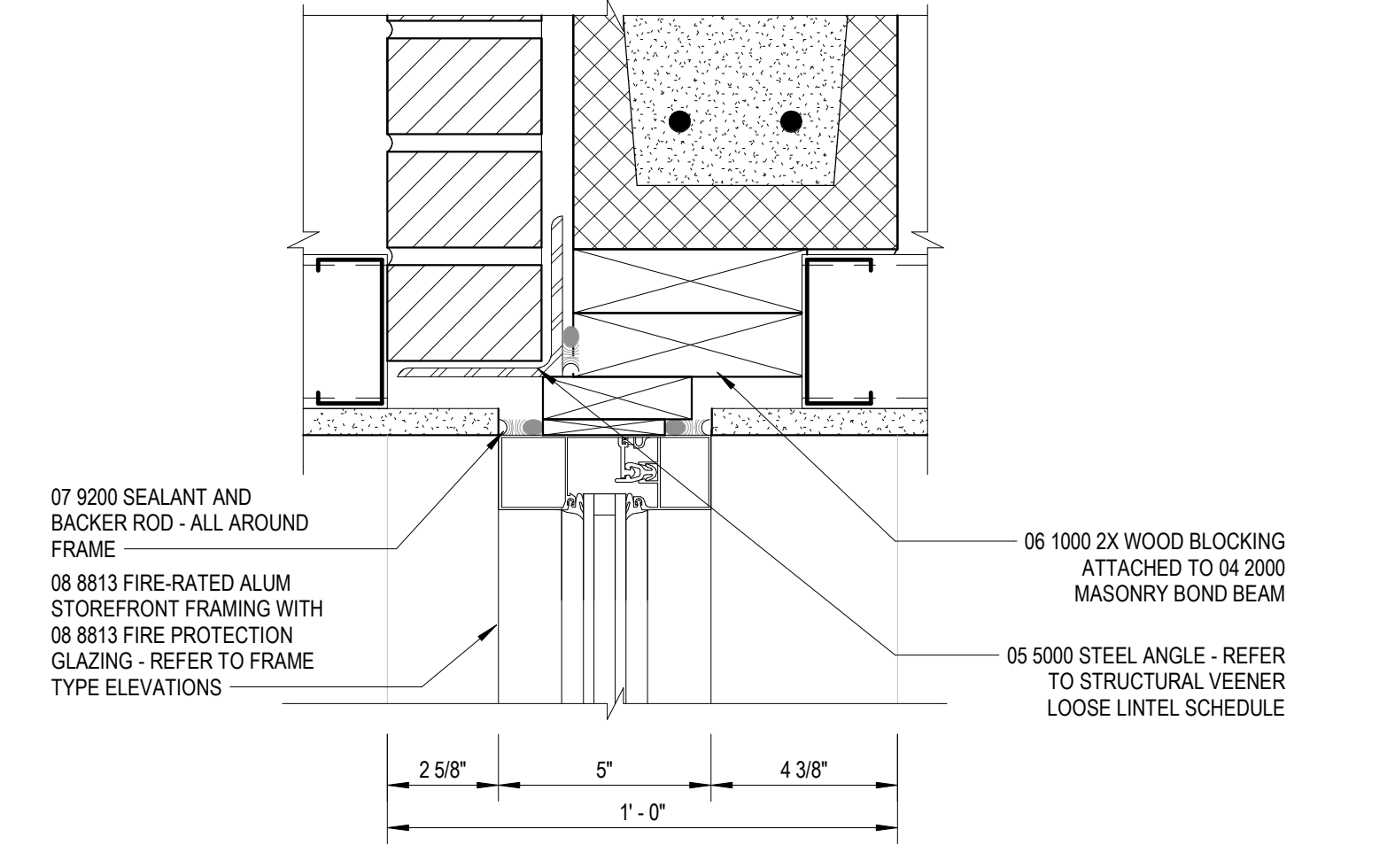
3 SECTION DETAIL  
1.A4.1 3'-1'-0"



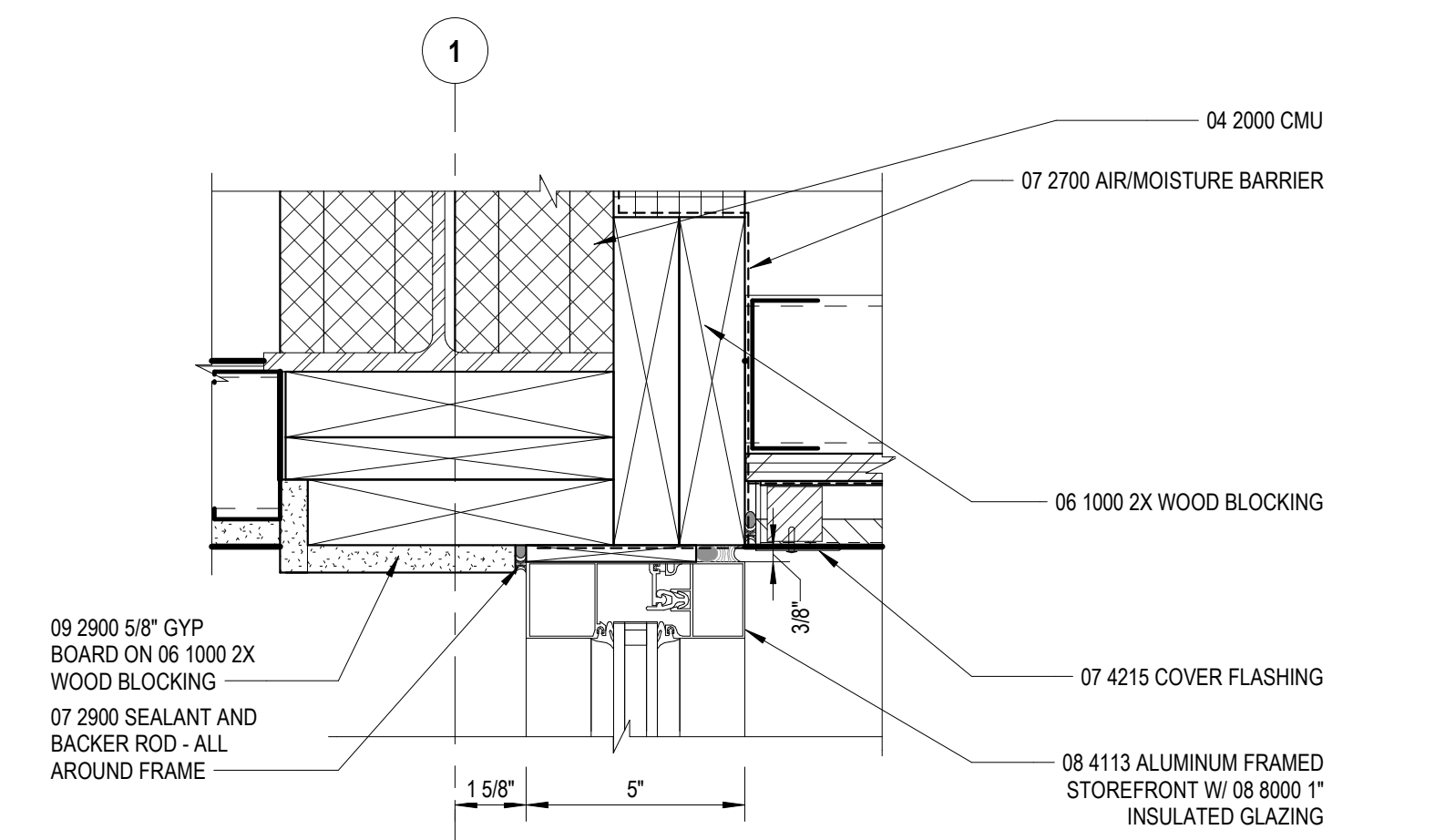
13 CAST STONE SILL PROFILE  
1.A5.2 6'-1'-0"



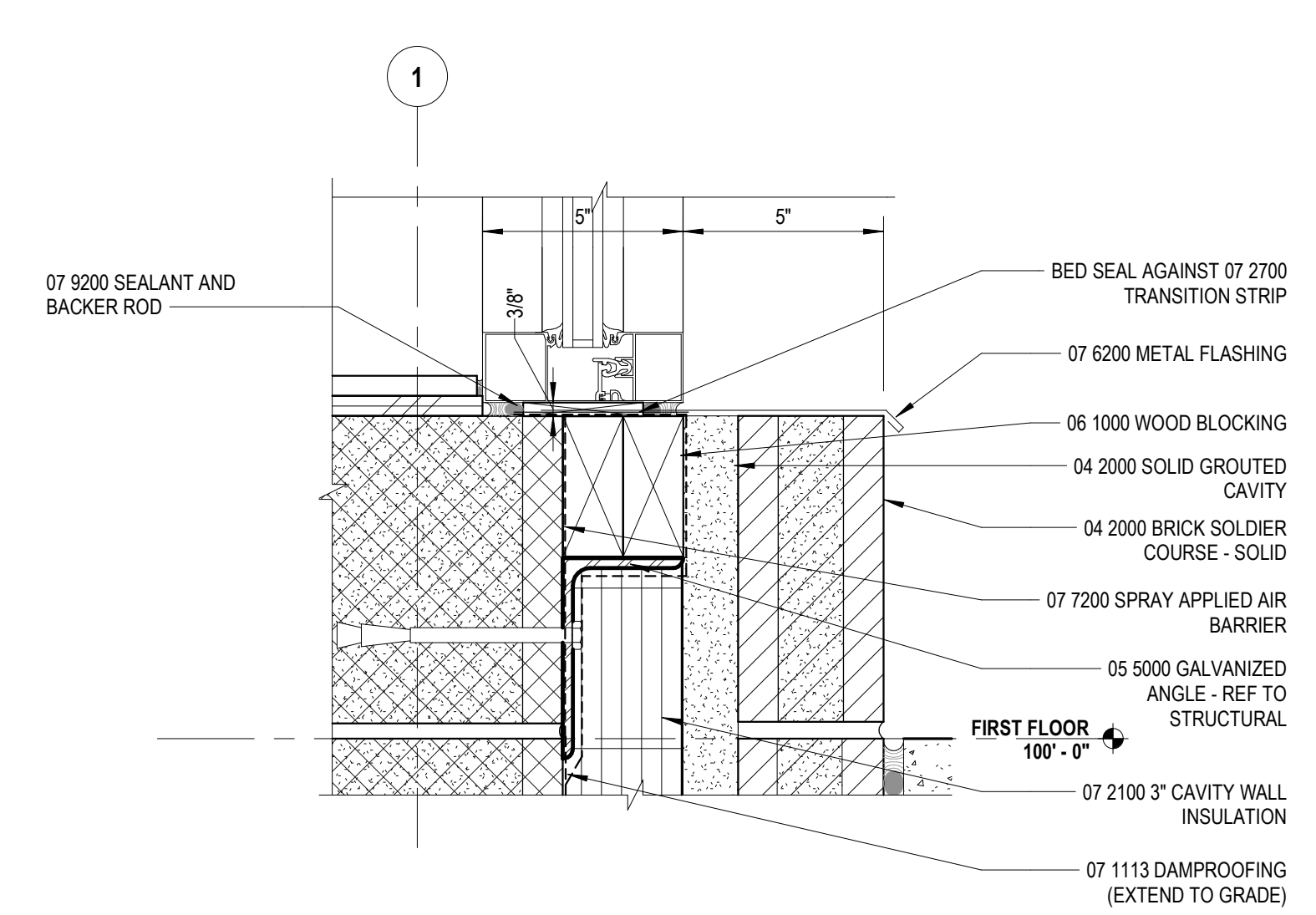
2 SECTION DETAIL  
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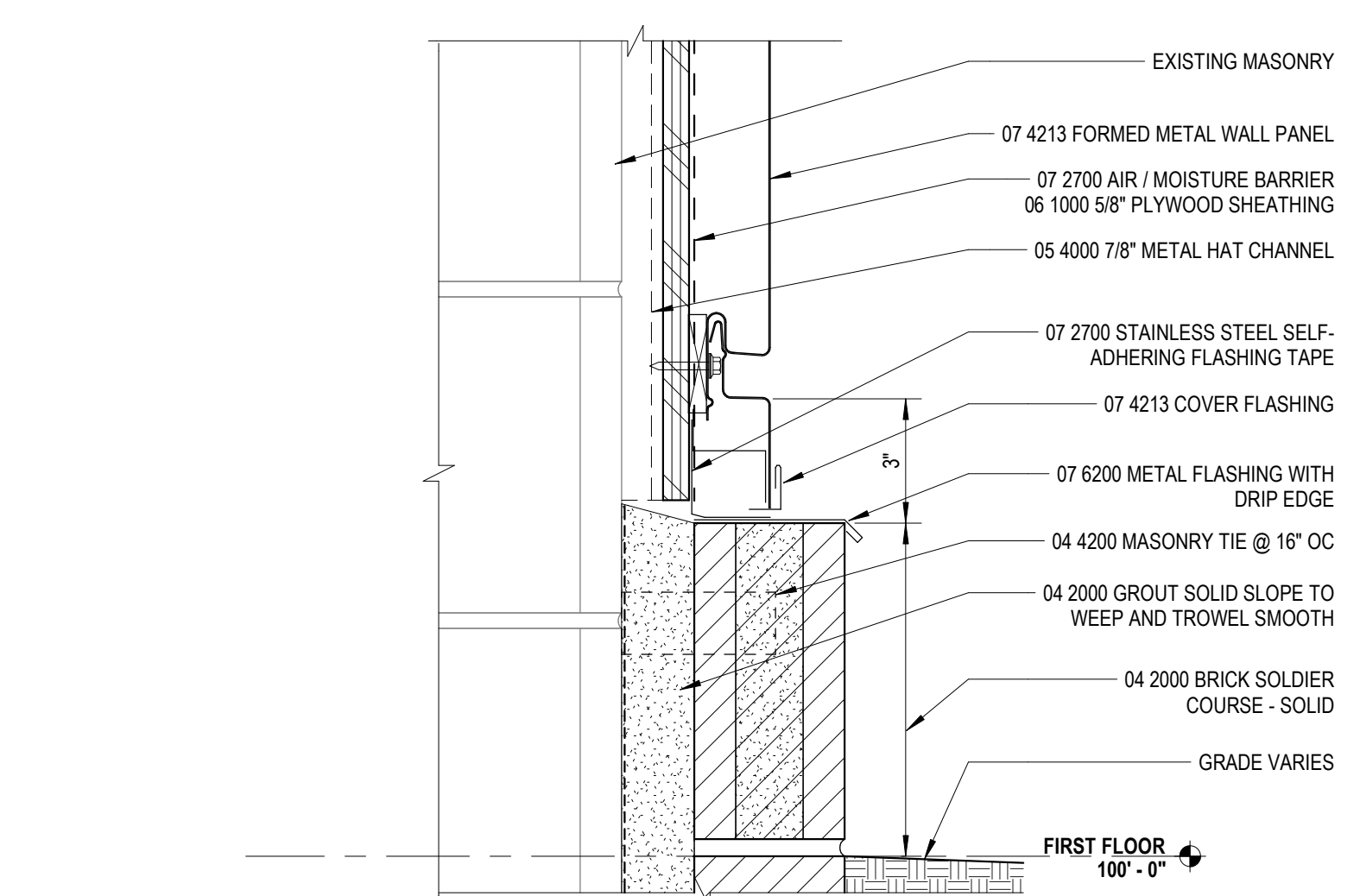
7 SECTION DETAIL  
1.A4.1 3'-1'-0"



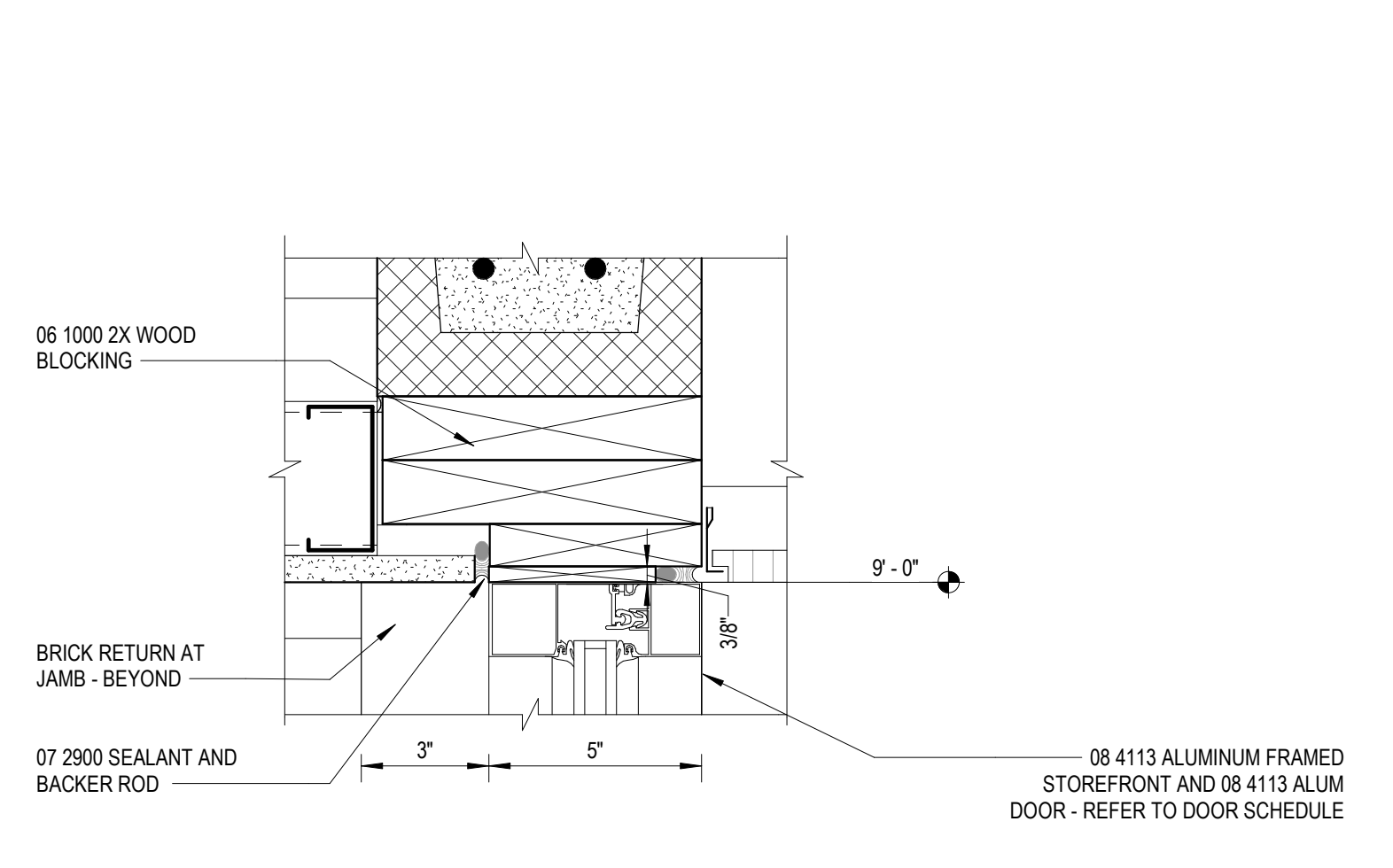
6 SECTION DETAIL  
1.A5.1 3'-1'-0"



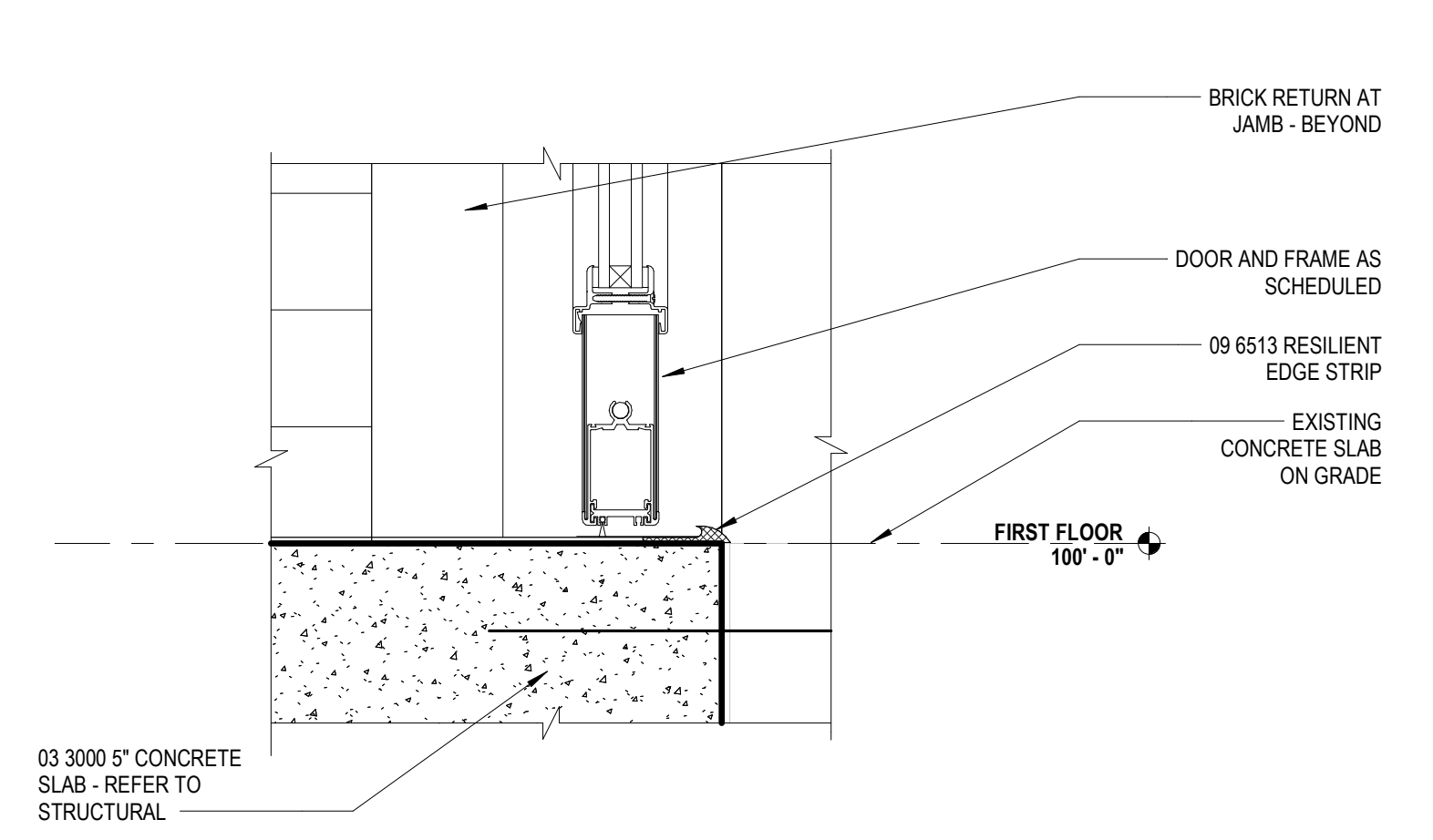
5 SECTION DETAIL  
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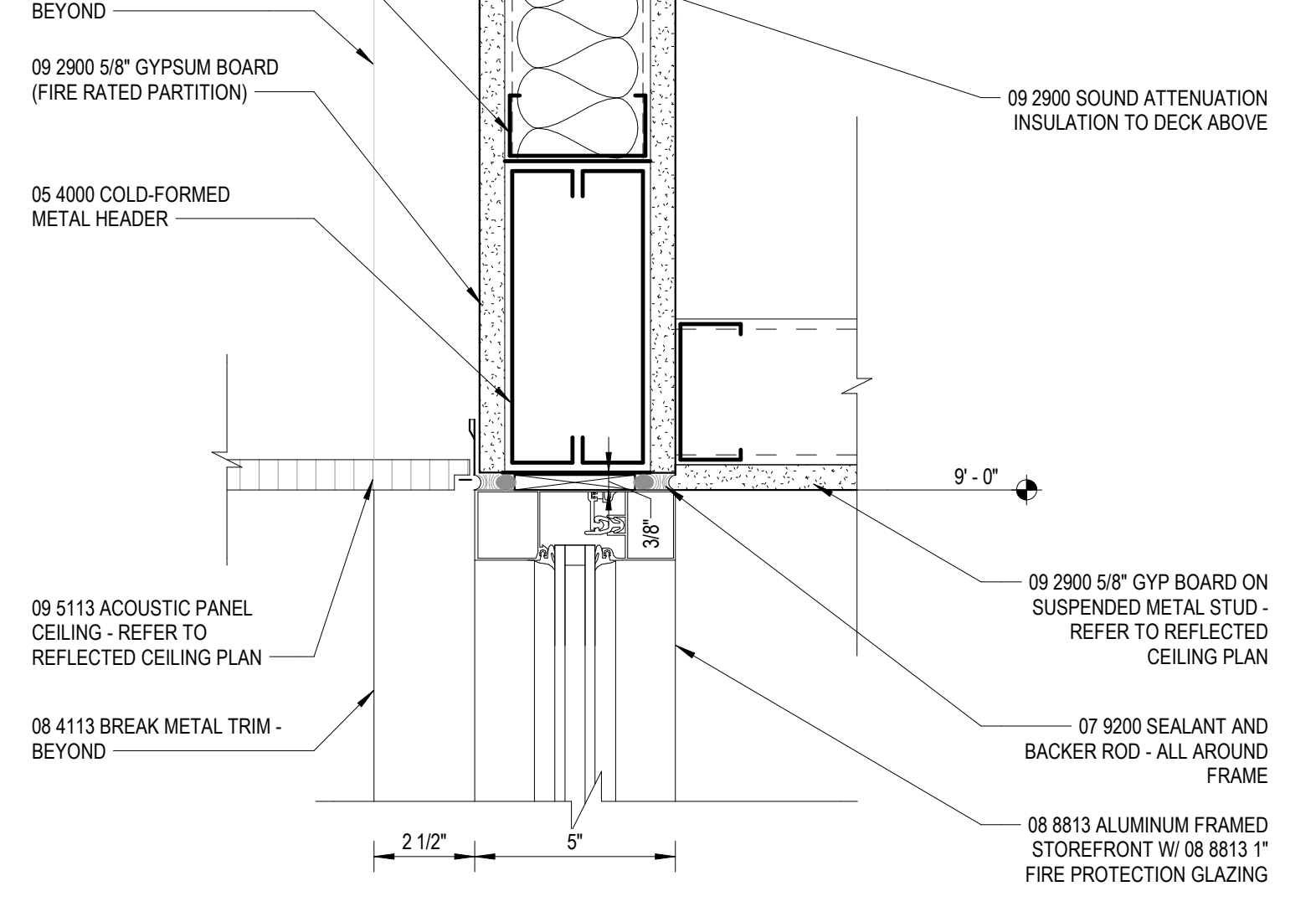
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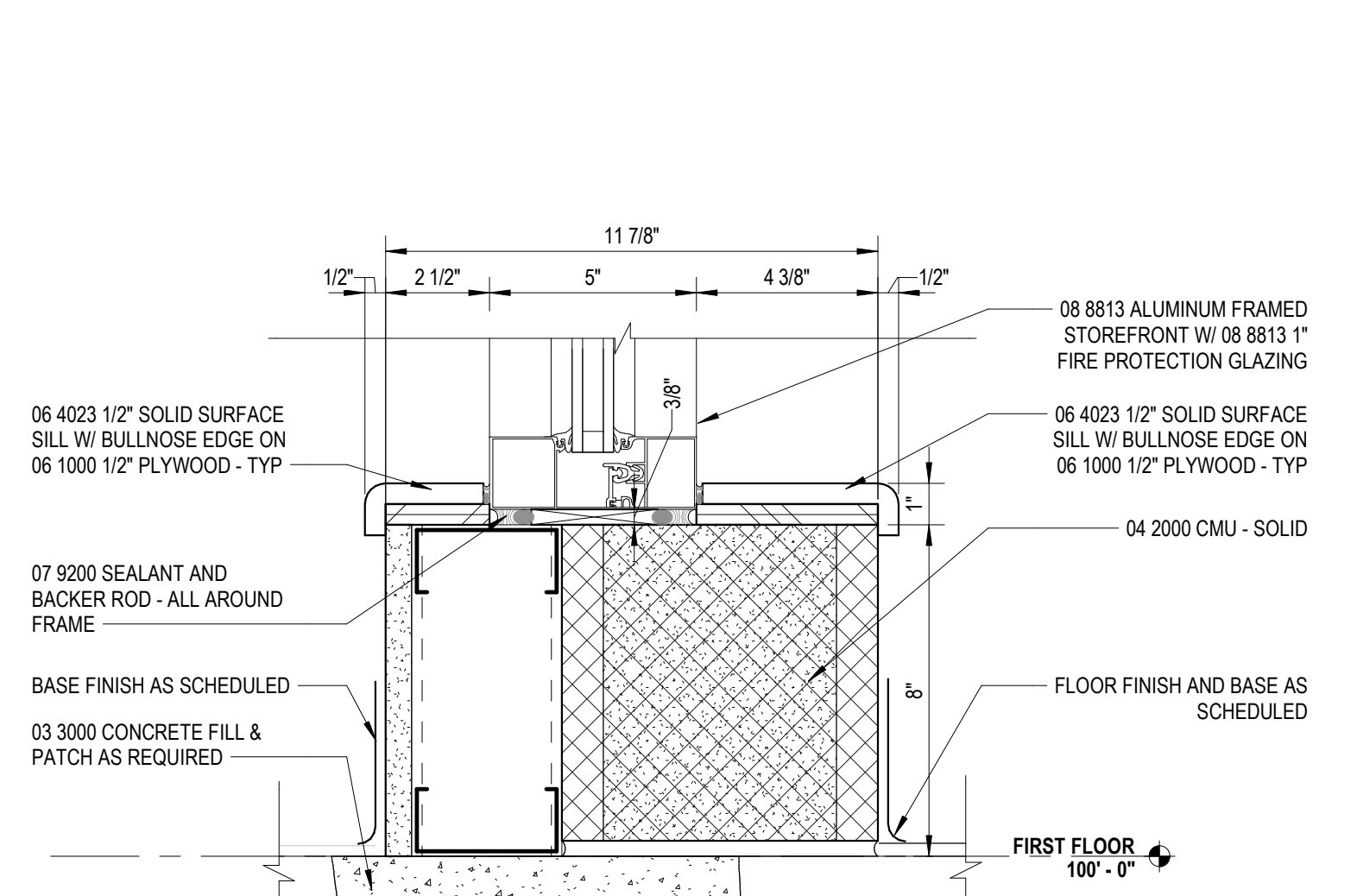
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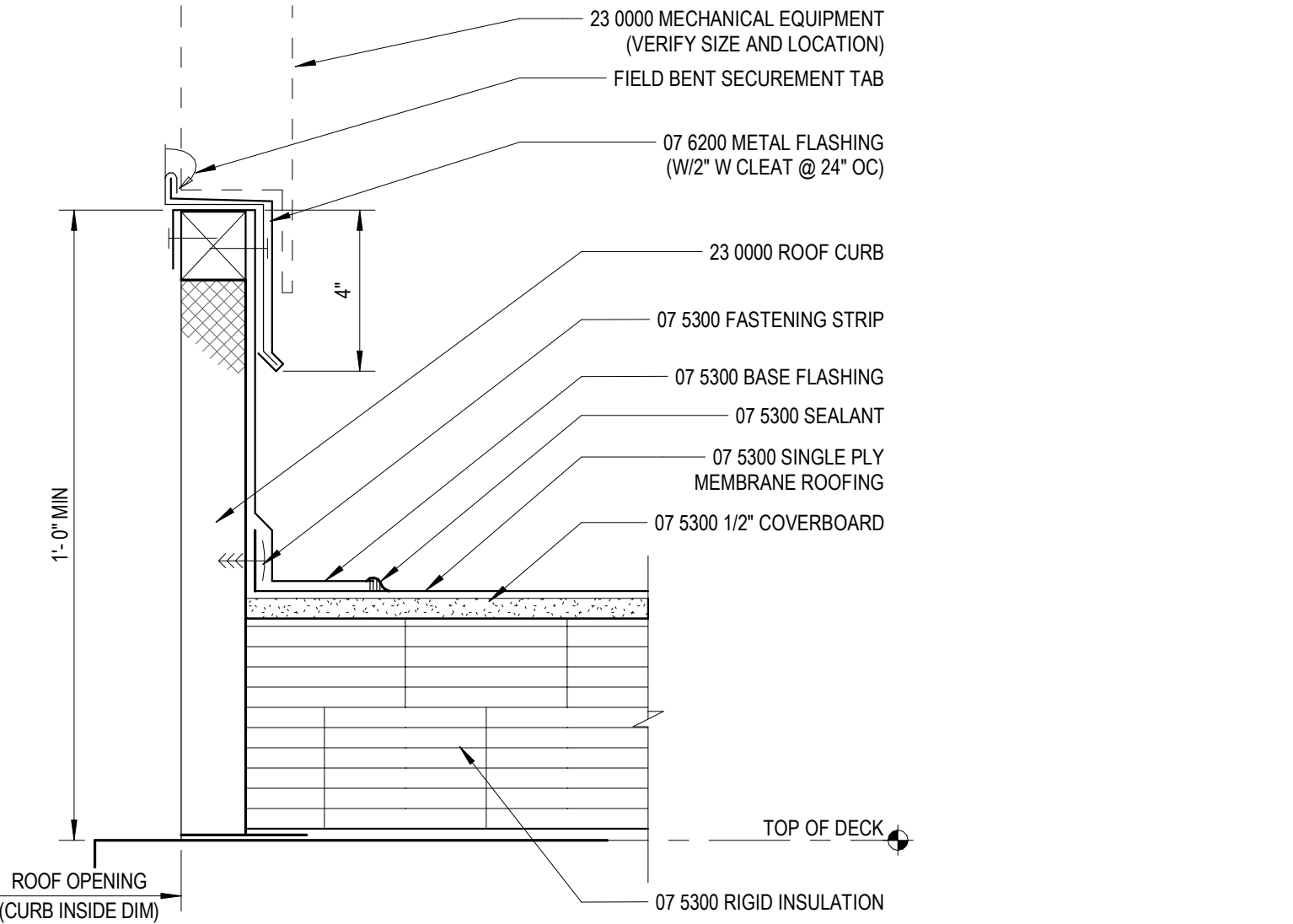
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1.A5.1 3'-1'-0"



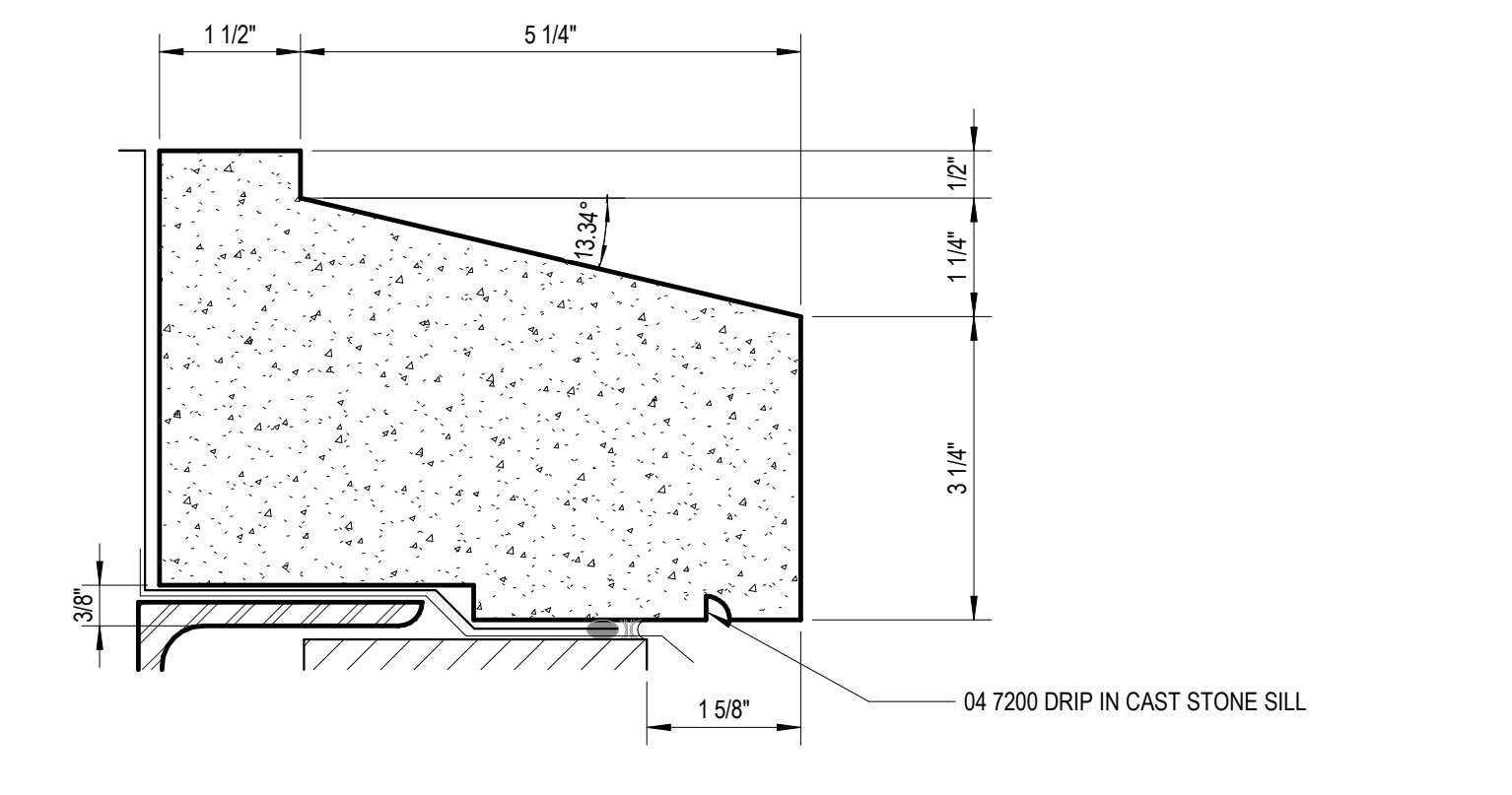
9 SECTION DETAIL  
1.A4.1 3'-1'-0"



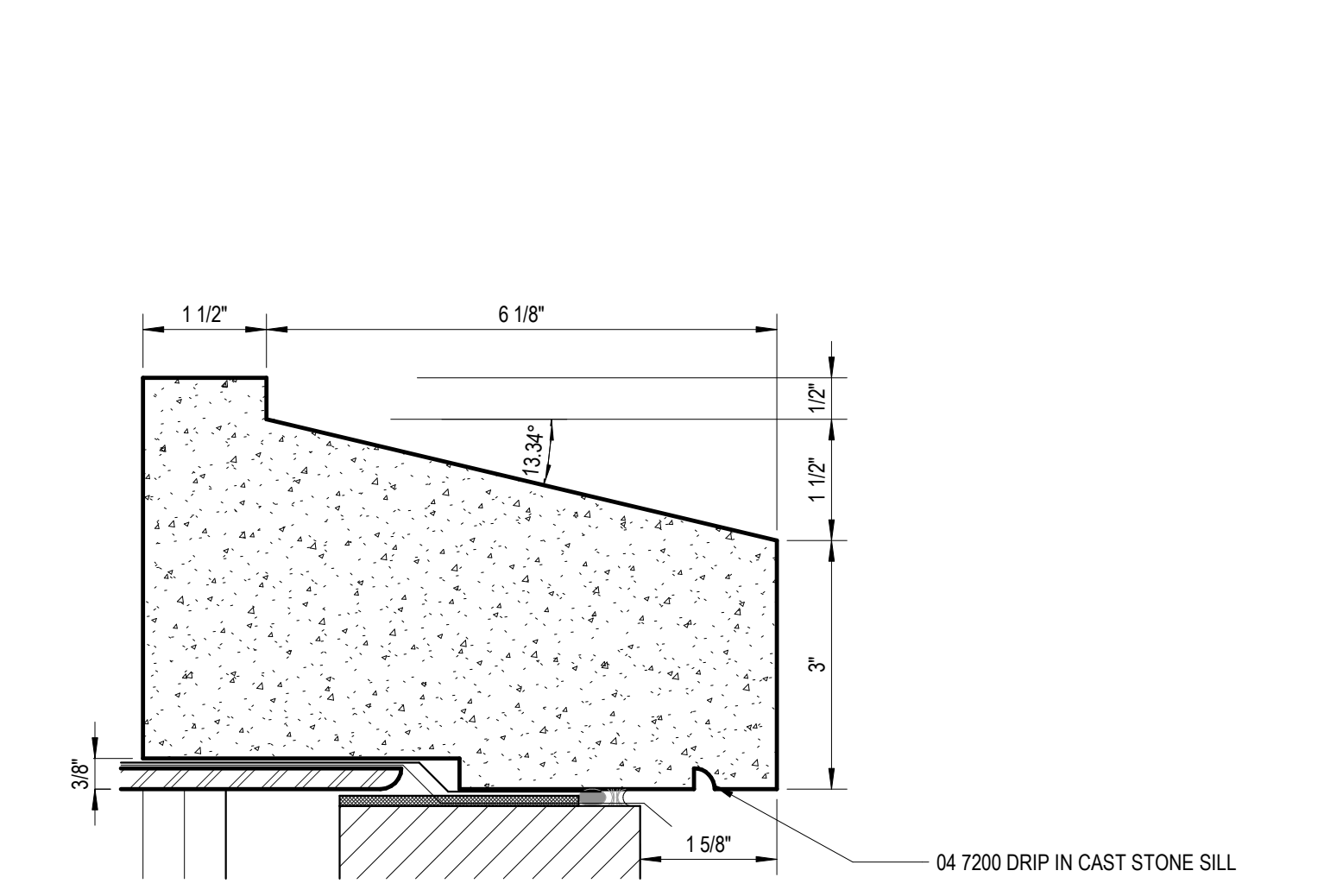
8 SECTION DETAIL  
1.A4.1 3'-1'-0"



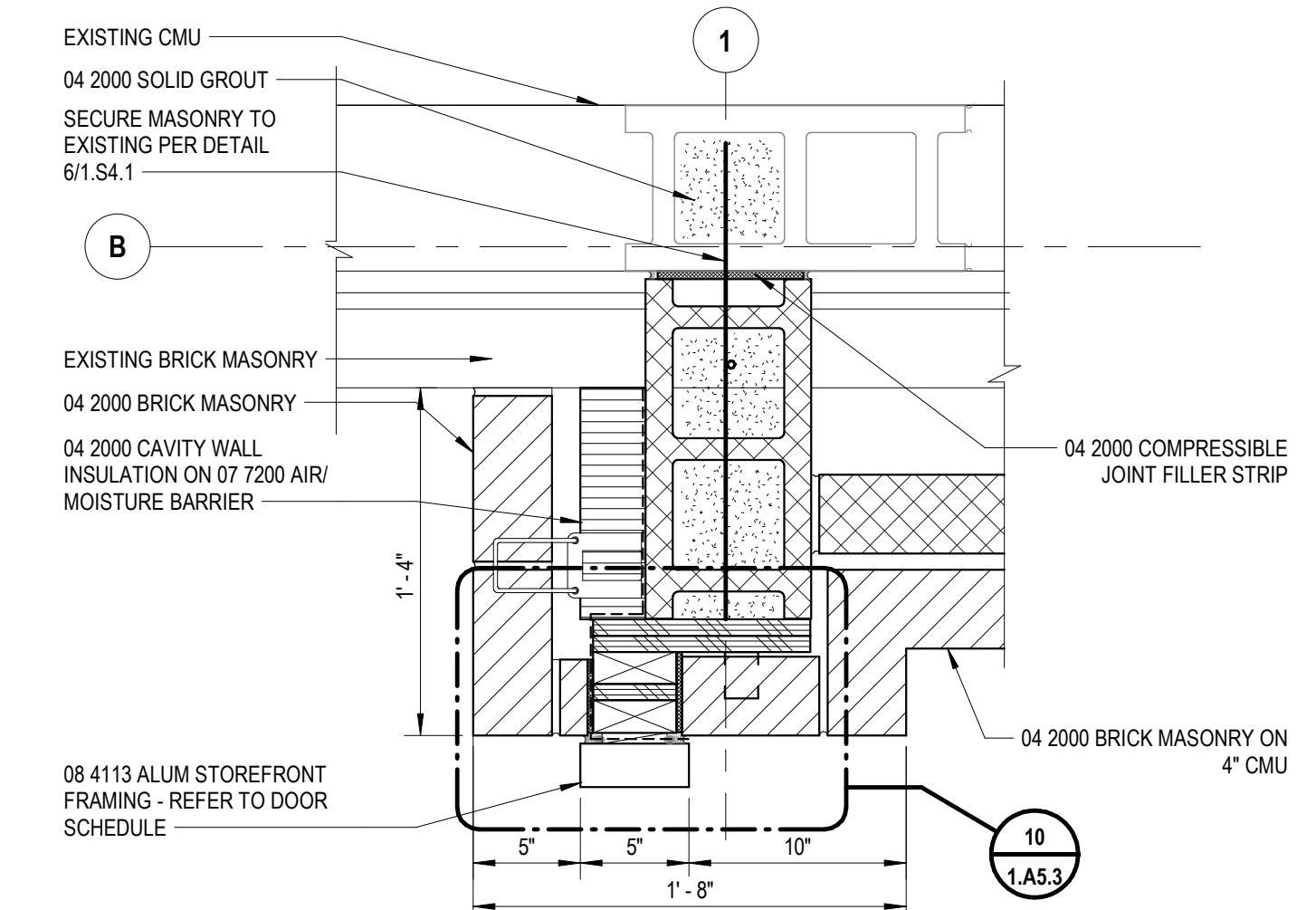
14 ROOF CURB (SINGLE PLY MEMBRANE ROOFING)  
1.A2.1 3'-1'-0"



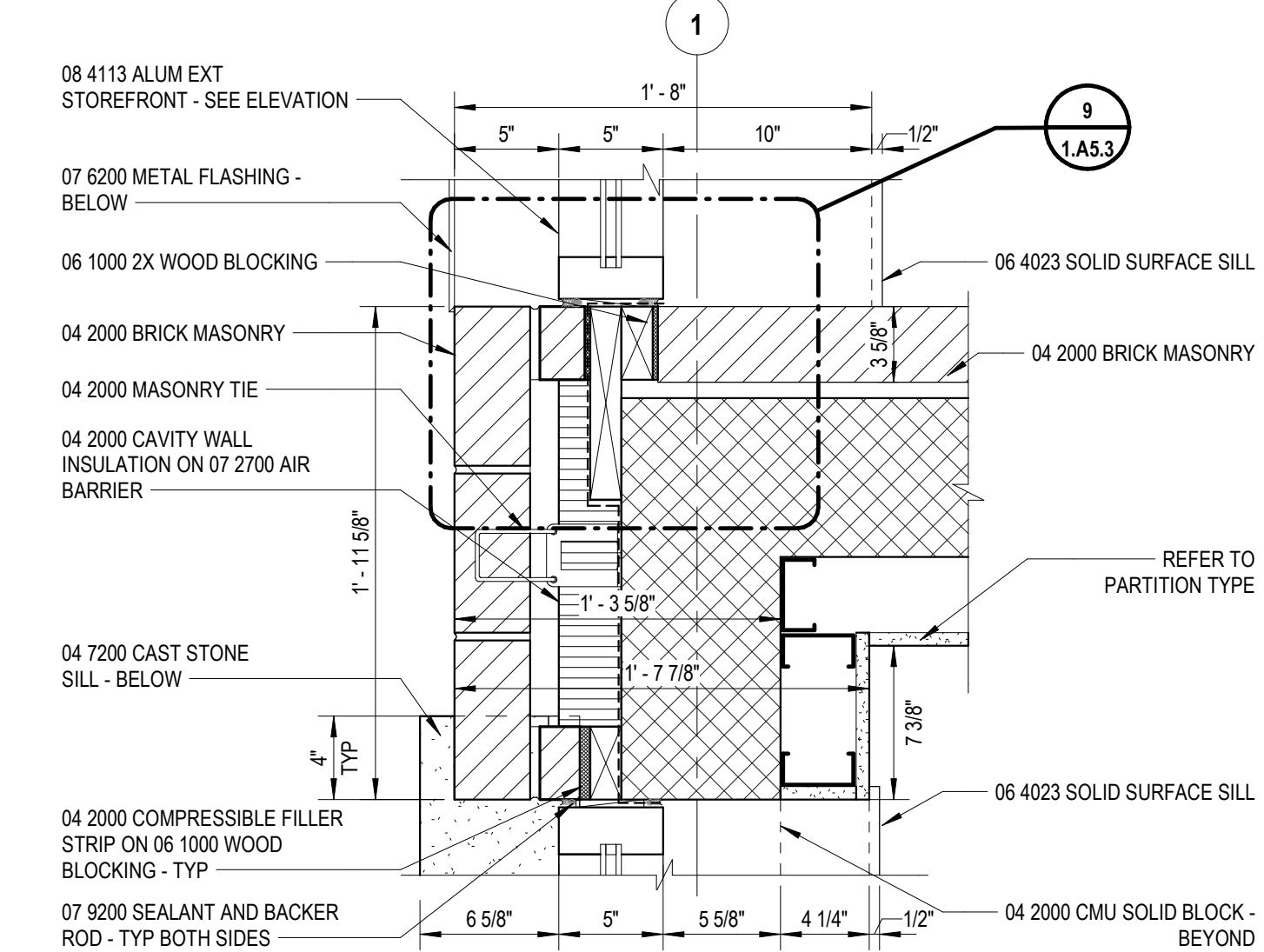
13 CAST STONE SILL PROFILE  
1.A5.2 6'-1'-0"



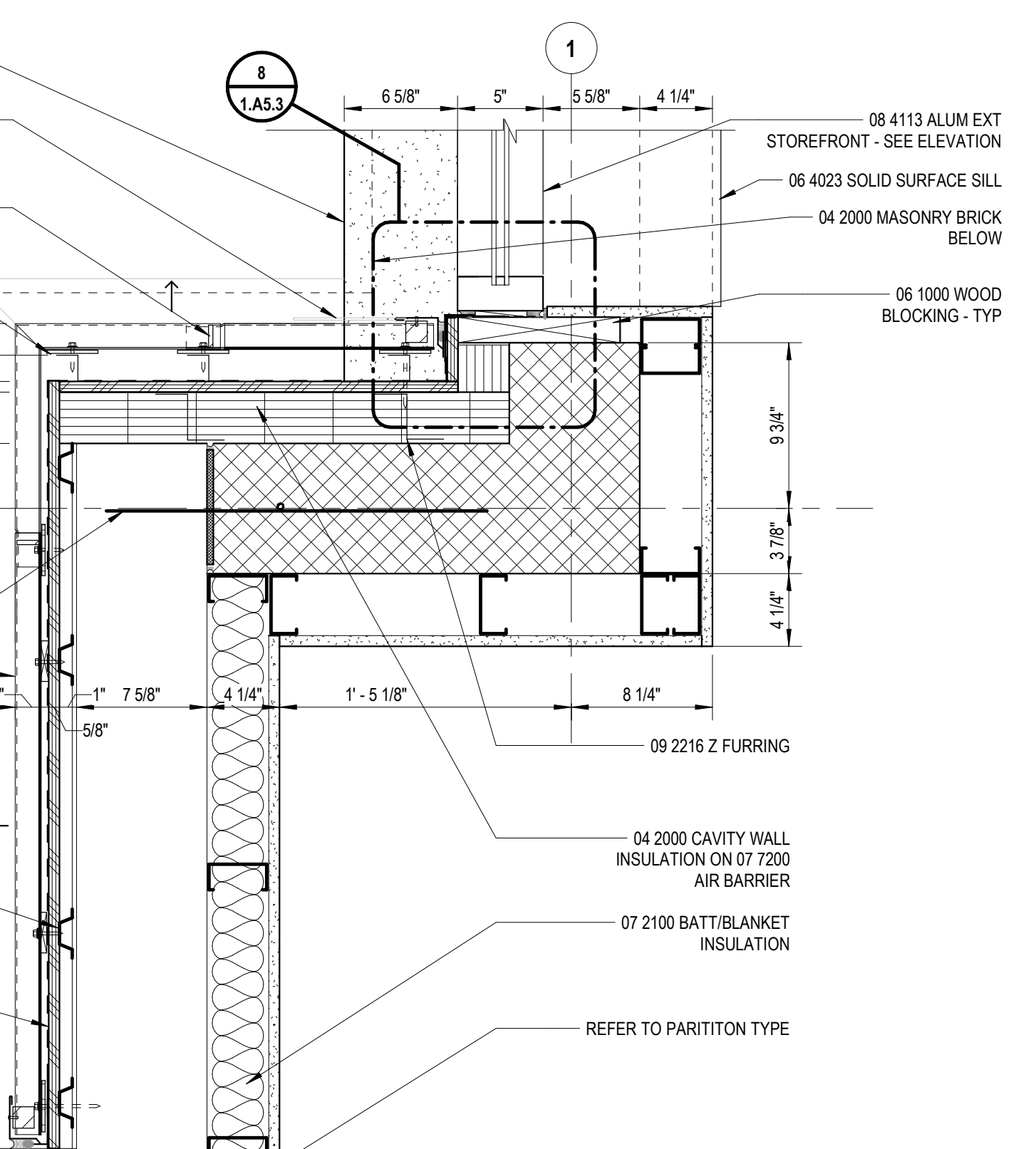
12 CAST STONE SILL PROFILE  
1.A5.2 6'-1'-0"



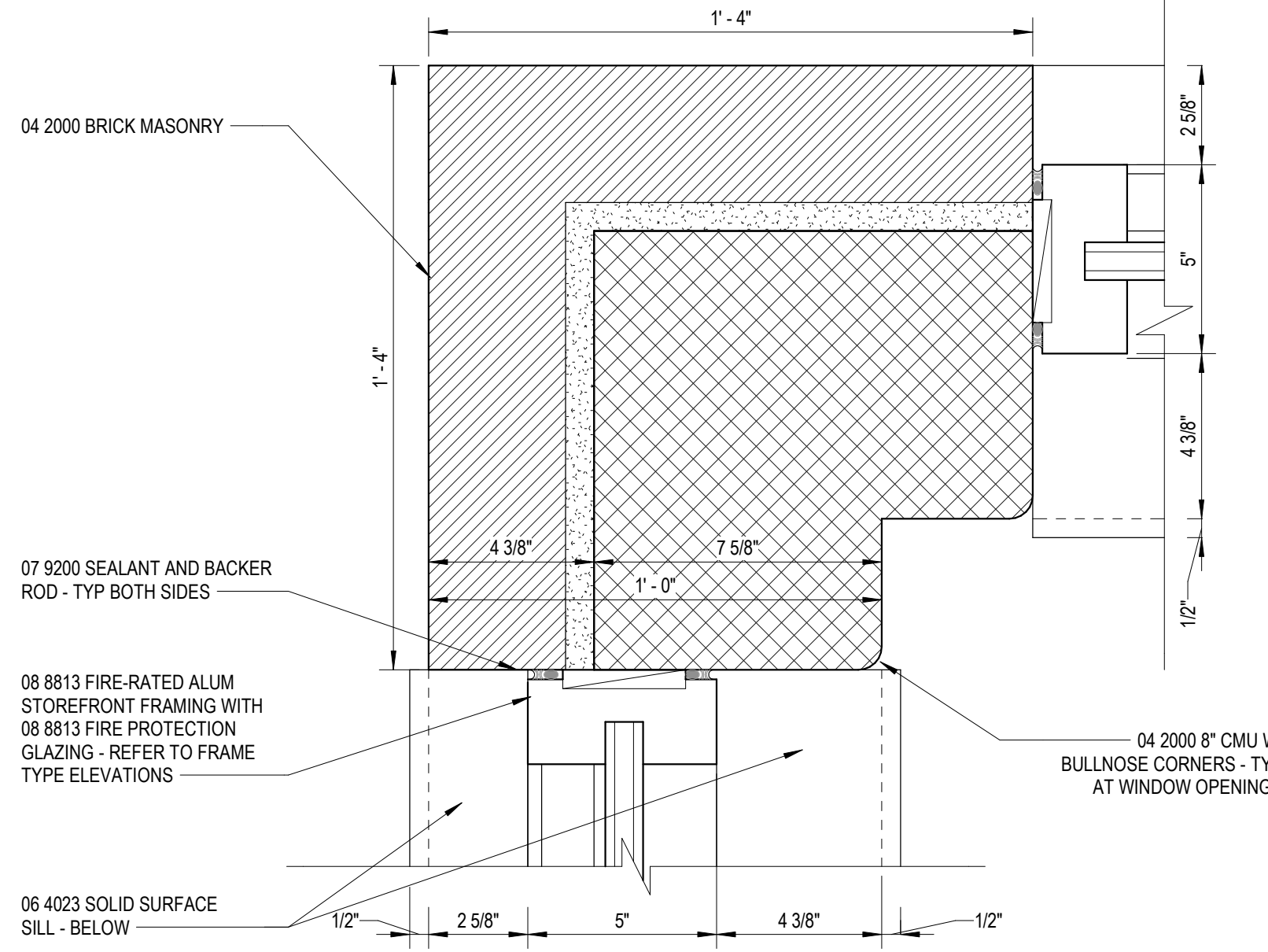
3 PLAN DETAIL  
1.A6.1 1 1/2" = 1'-0"



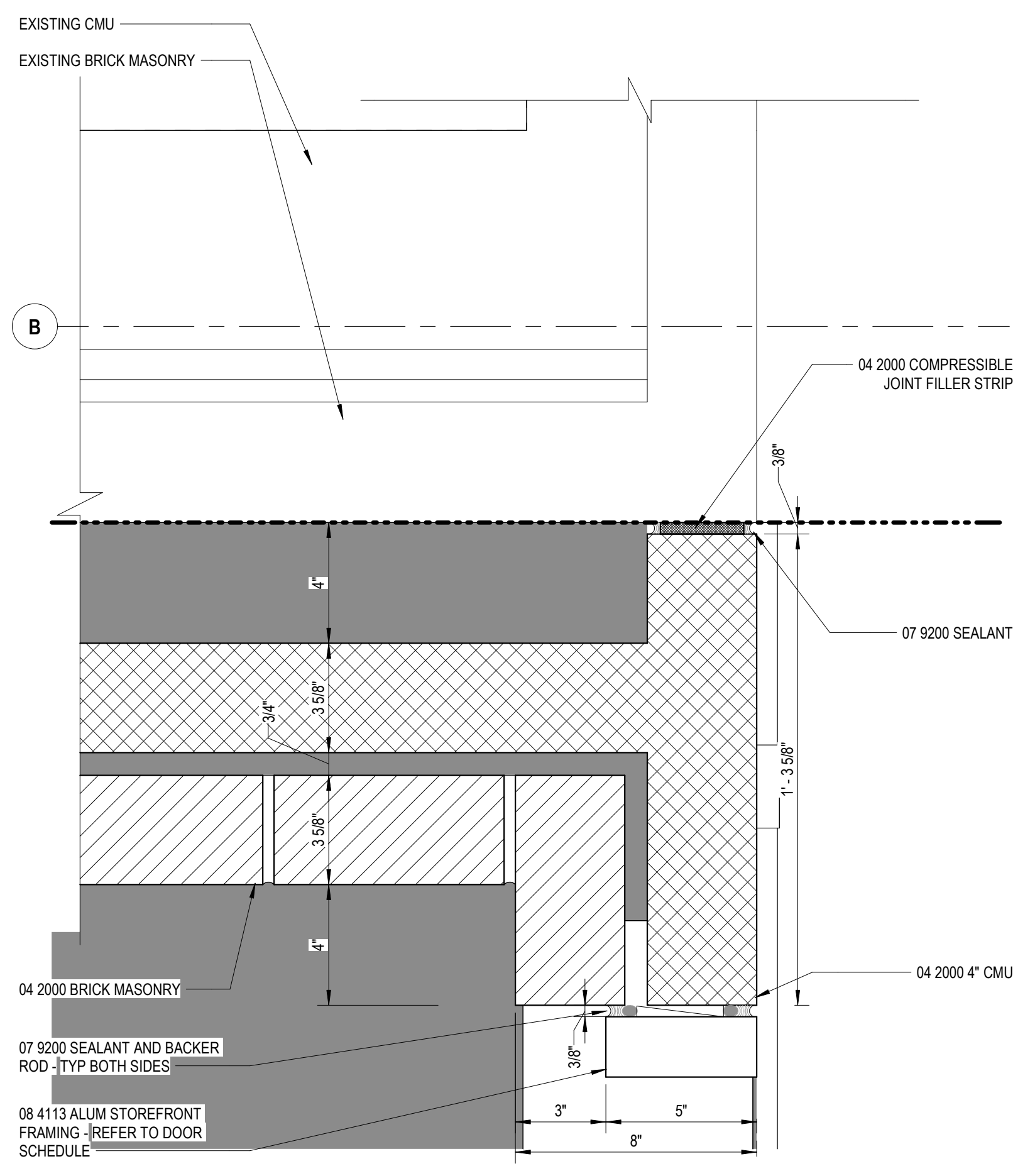
2 PLAN DETAIL  
1.A6.1 1 1/2" = 1'-0"



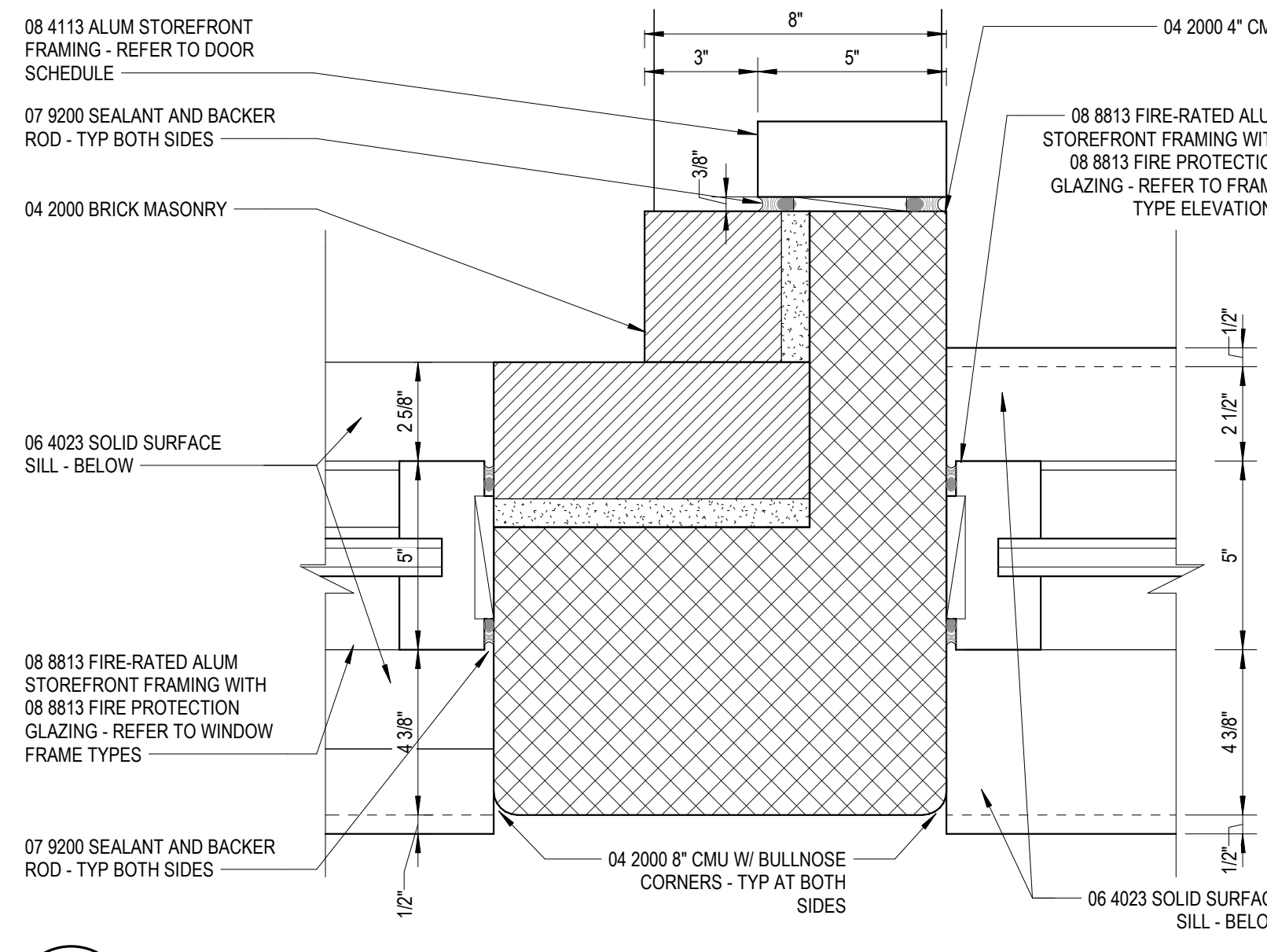
1 PLAN DETAIL - ABOVE WINDOW SILL  
1.A2.1 1 1/2" = 1'-0"



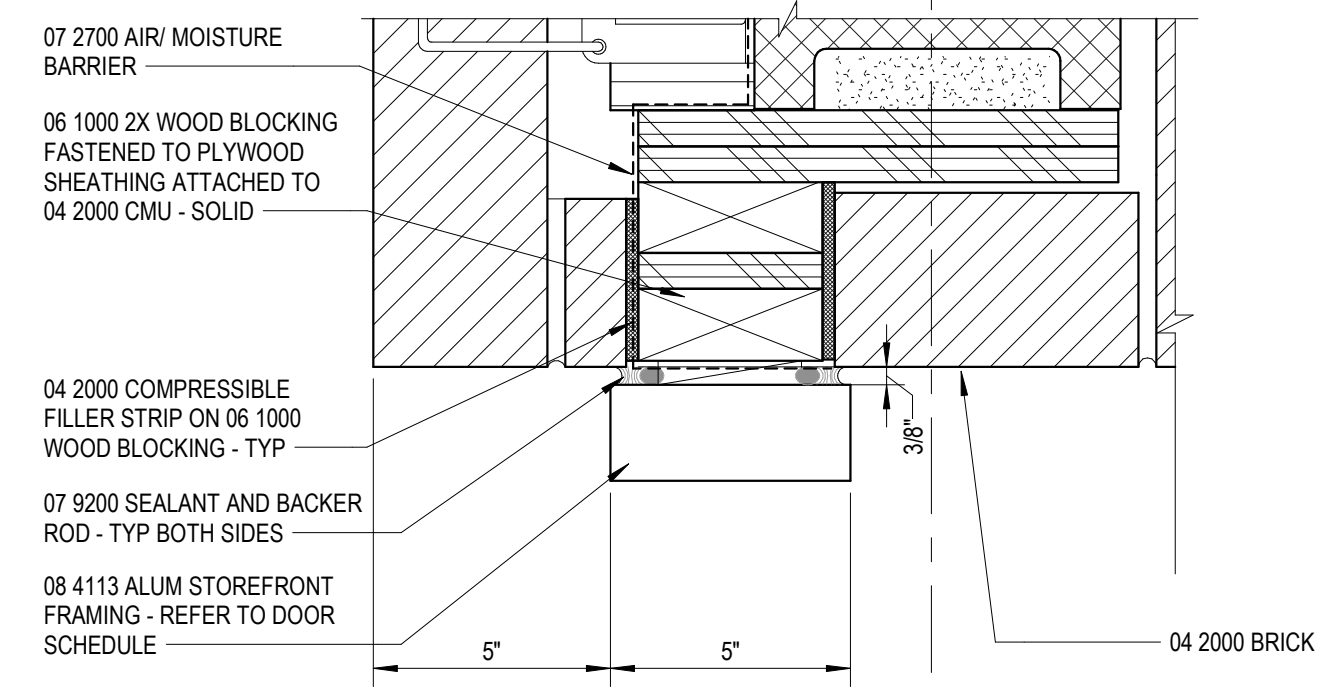
6 PLAN DETAIL  
1.A6.1 3" = 1'-0"



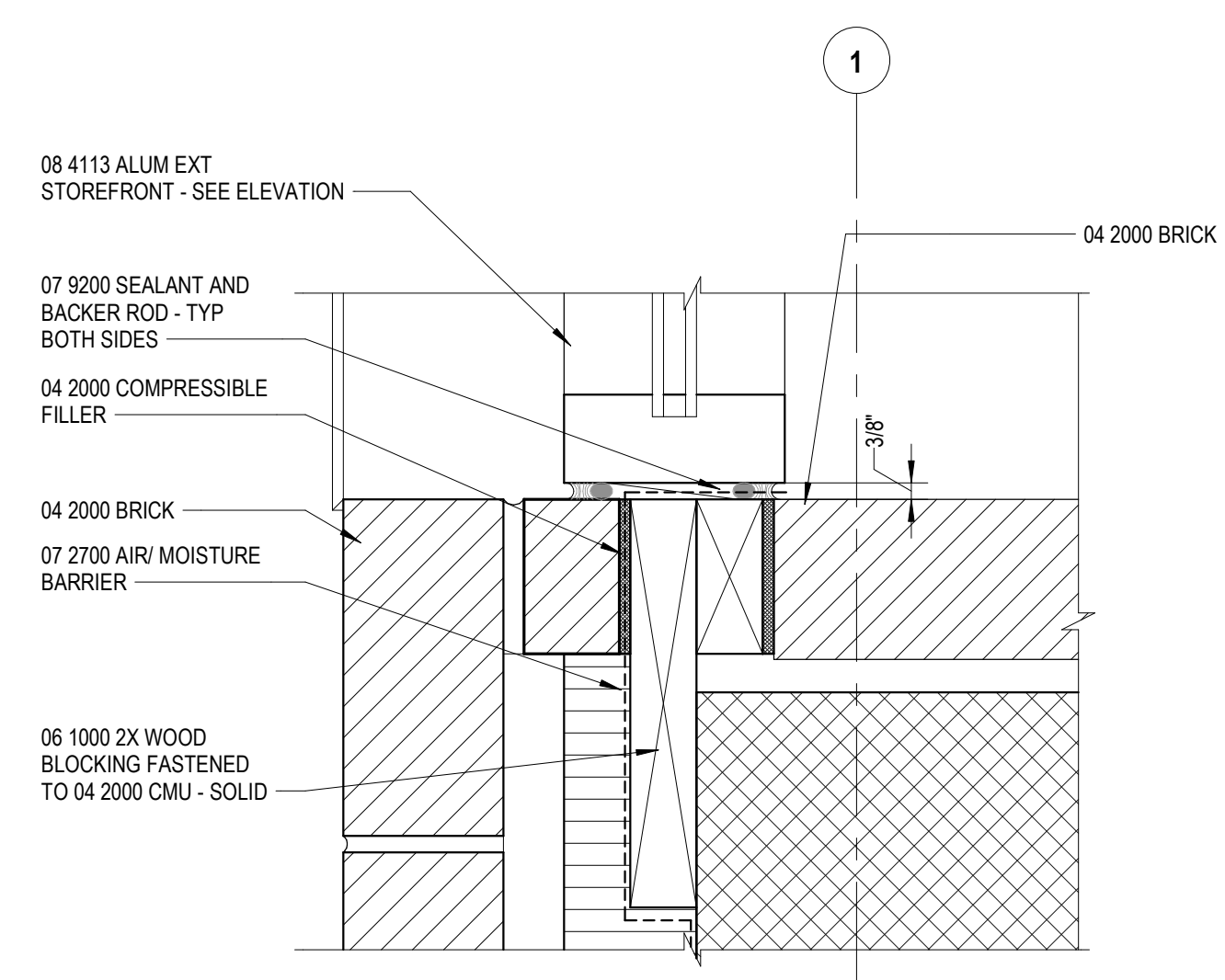
5 PLAN DETAIL  
1.A6.1 3" = 1'-0"



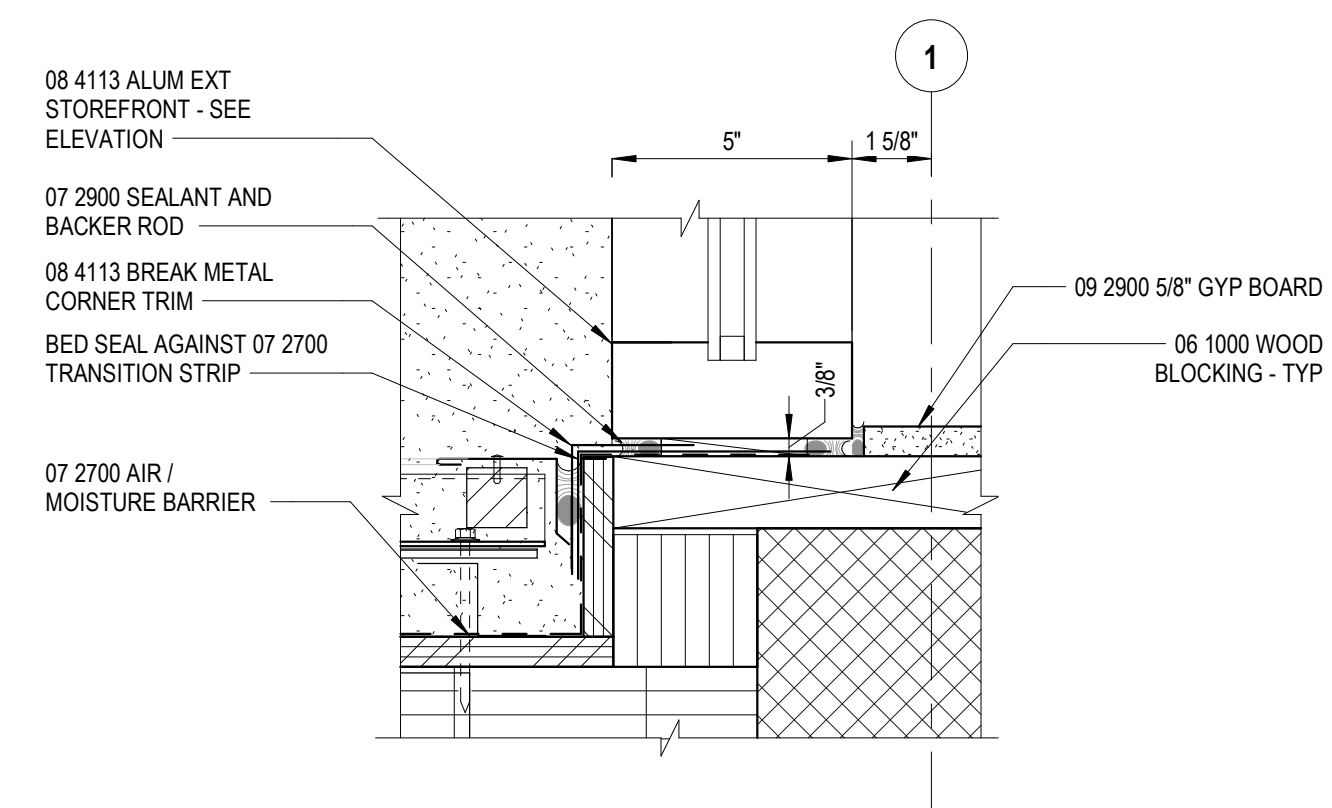
4 PLAN DETAIL  
1.A6.1 3" = 1'-0"



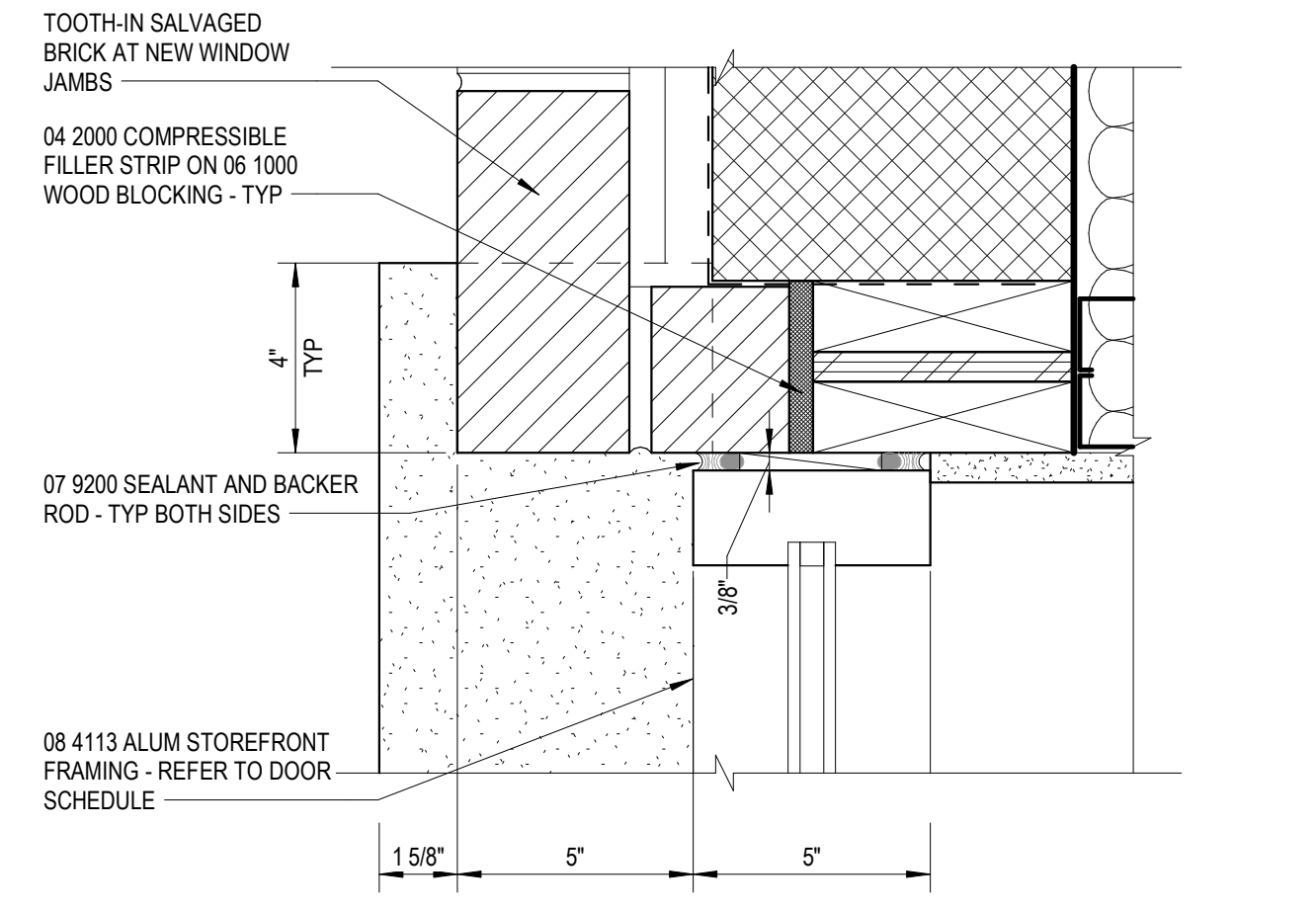
10 PLAN DETAIL  
1.A5.3 3" = 1'-0"



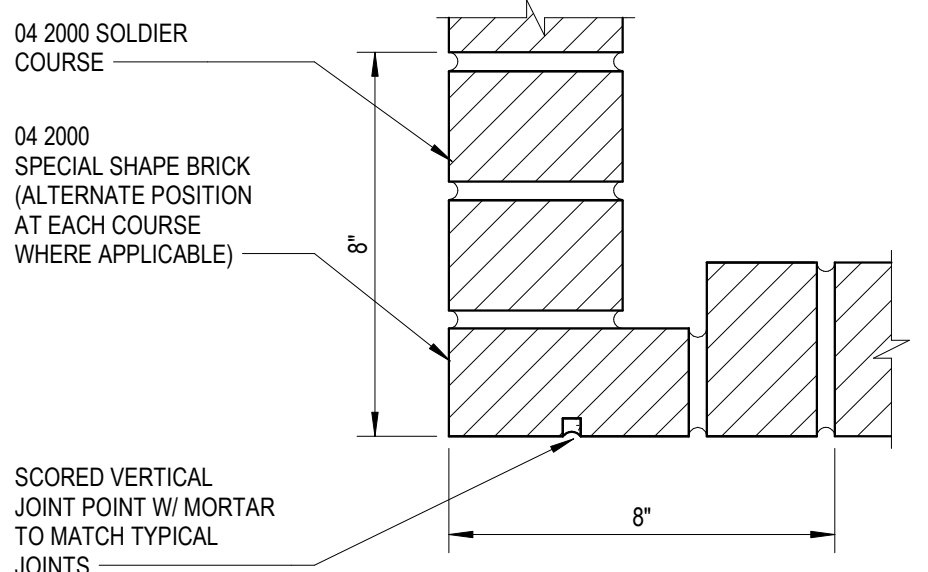
9 PLAN DETAIL  
1.A5.3 3" = 1'-0"



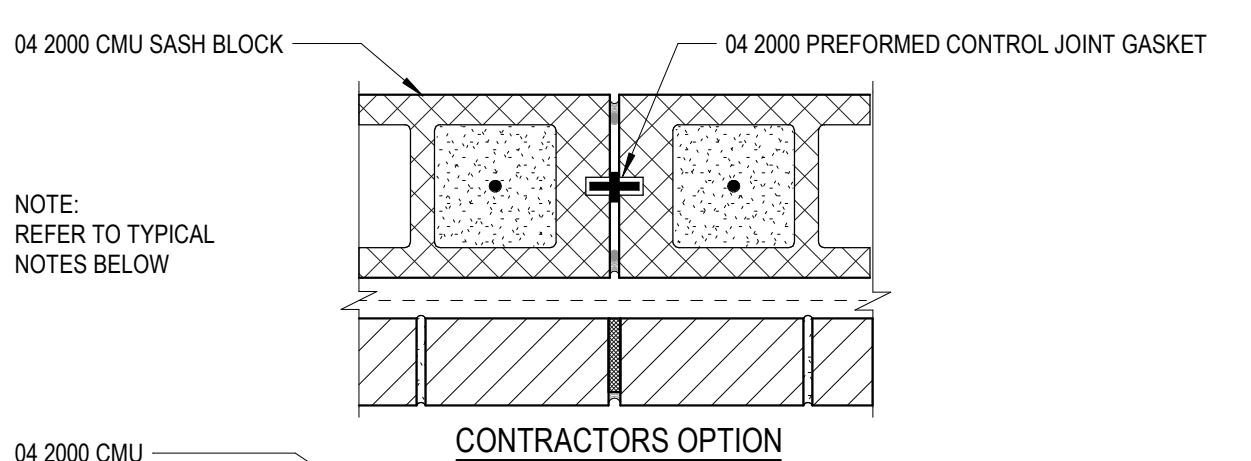
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1.A5.3 3" = 1'-0"



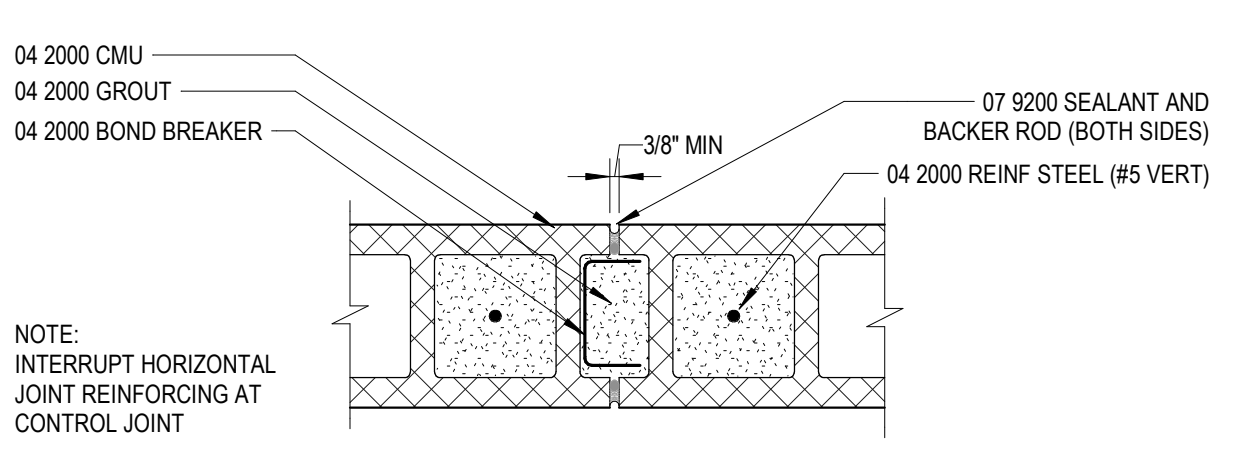
7 PLAN DETAIL  
1.A5.3 3" = 1'-0"



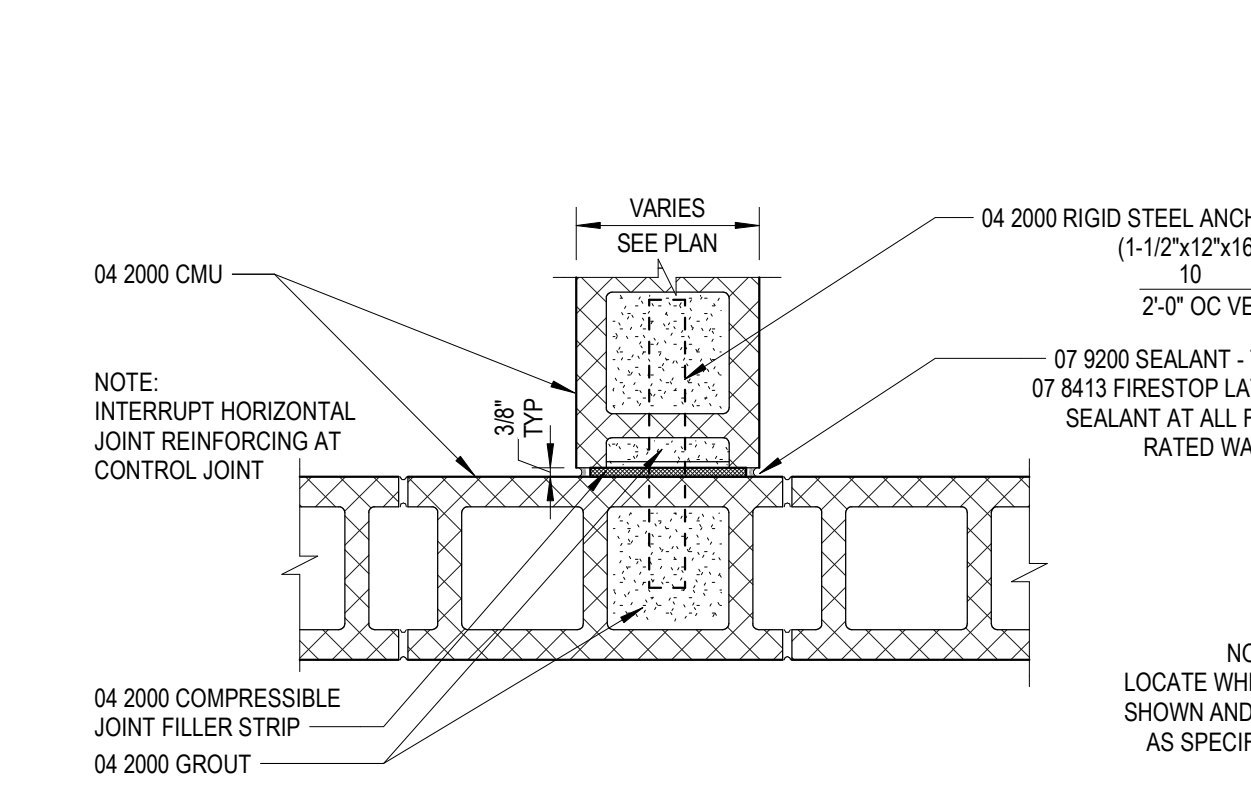
BRICK SOLDIER COURSING AT CORNER  
15 3" = 1'-0"



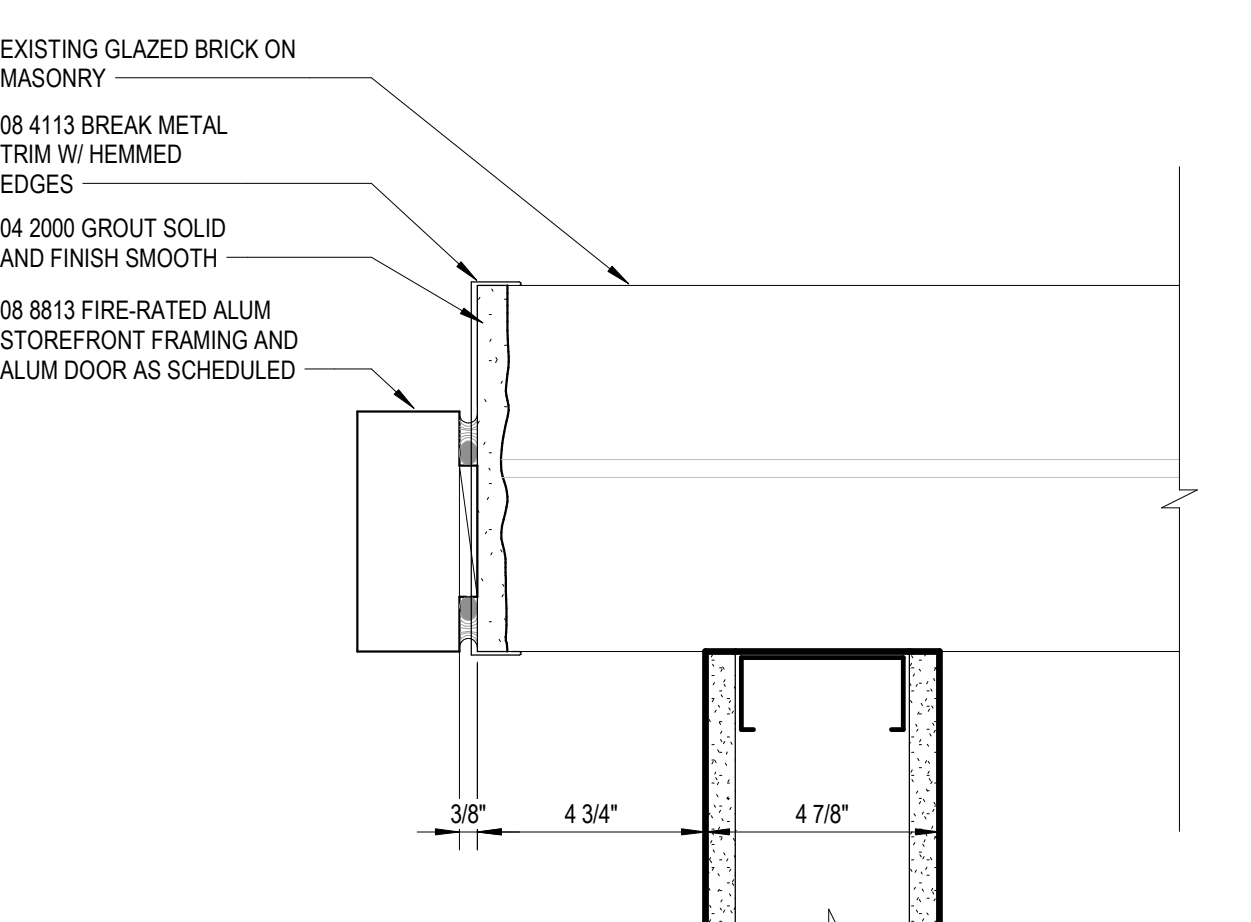
EXTERIOR MASONRY WALL CONTROL/EXPANSION JT  
14 1 1/2" = 1'-0"



INTERIOR MASONRY WALL CONTROL JOINT  
13 1 1/2" = 1'-0"



INTERIOR MASONRY WALL CONTROL JOINT  
12 1 1/2" = 1'-0"



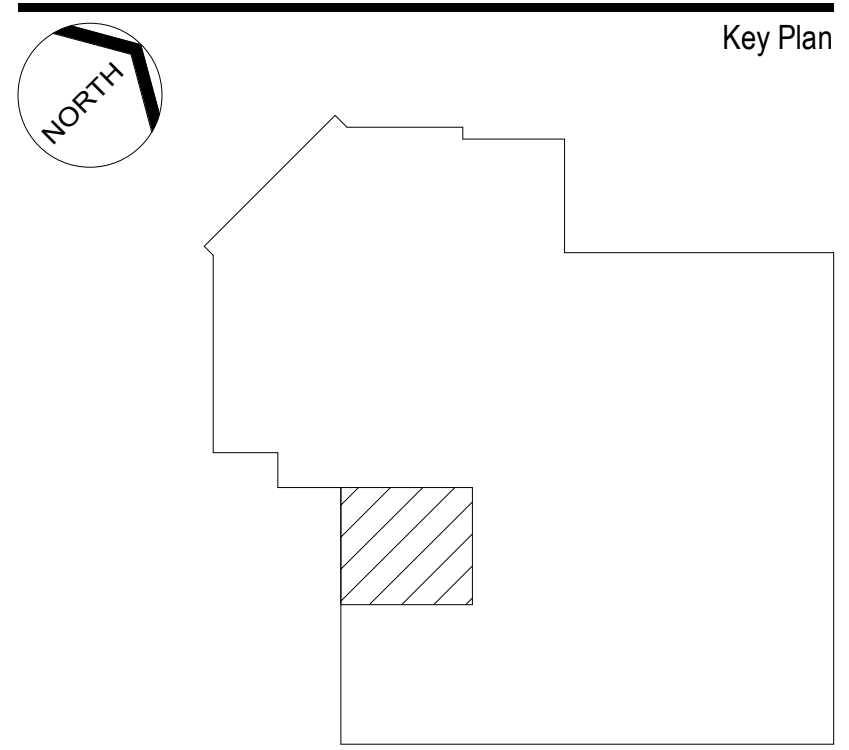
PLAN DETAIL  
11 1.A2.1 3" = 1'-0"





Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations



A. Maurer

A. Pfeiffer

C. King

A. Pfeiffer

N. LaForest

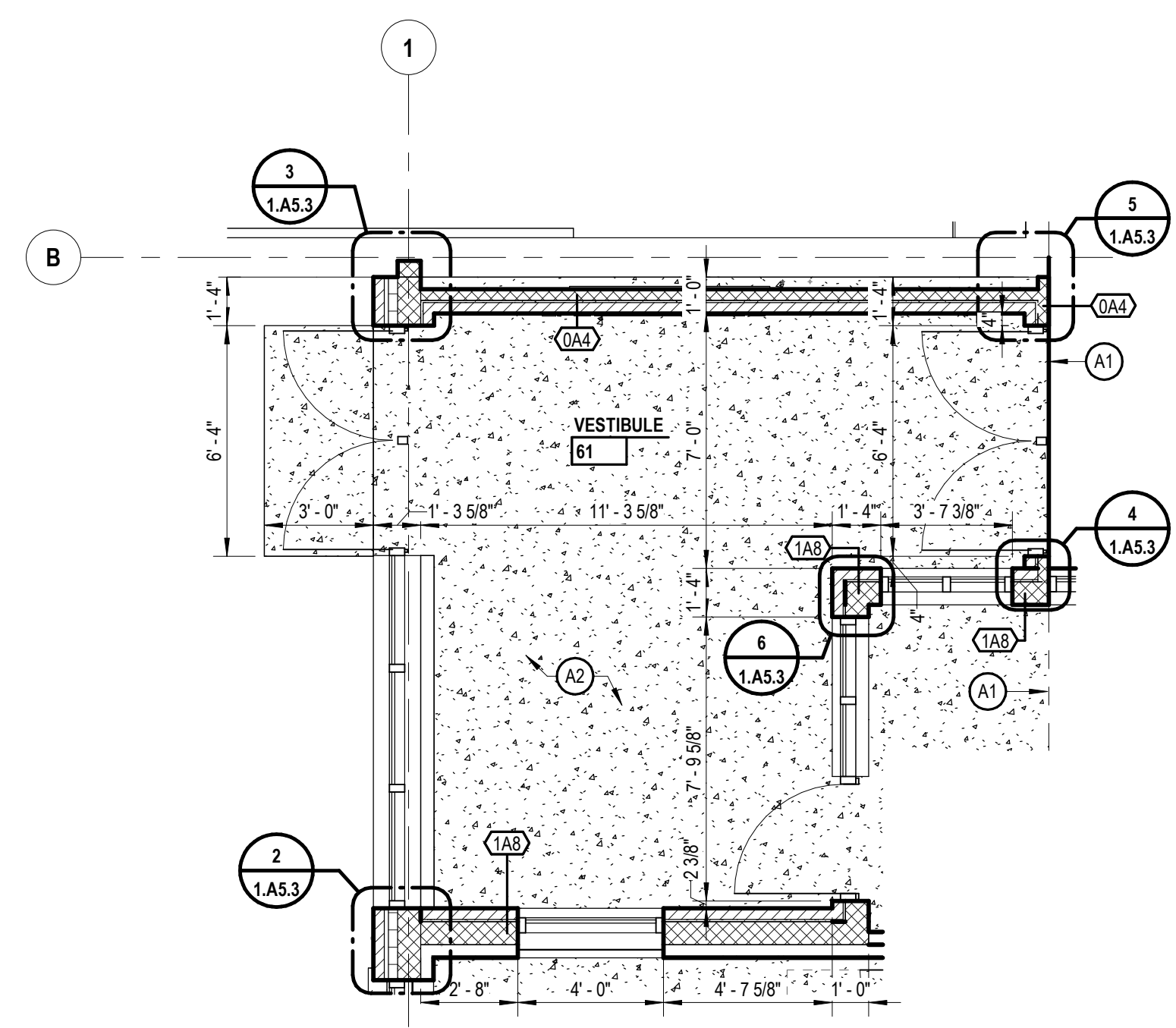
B. Sundberg

1/4" = 1' - 0"

Design Development 06-24-2024

Quality Management Review 08-23-2024

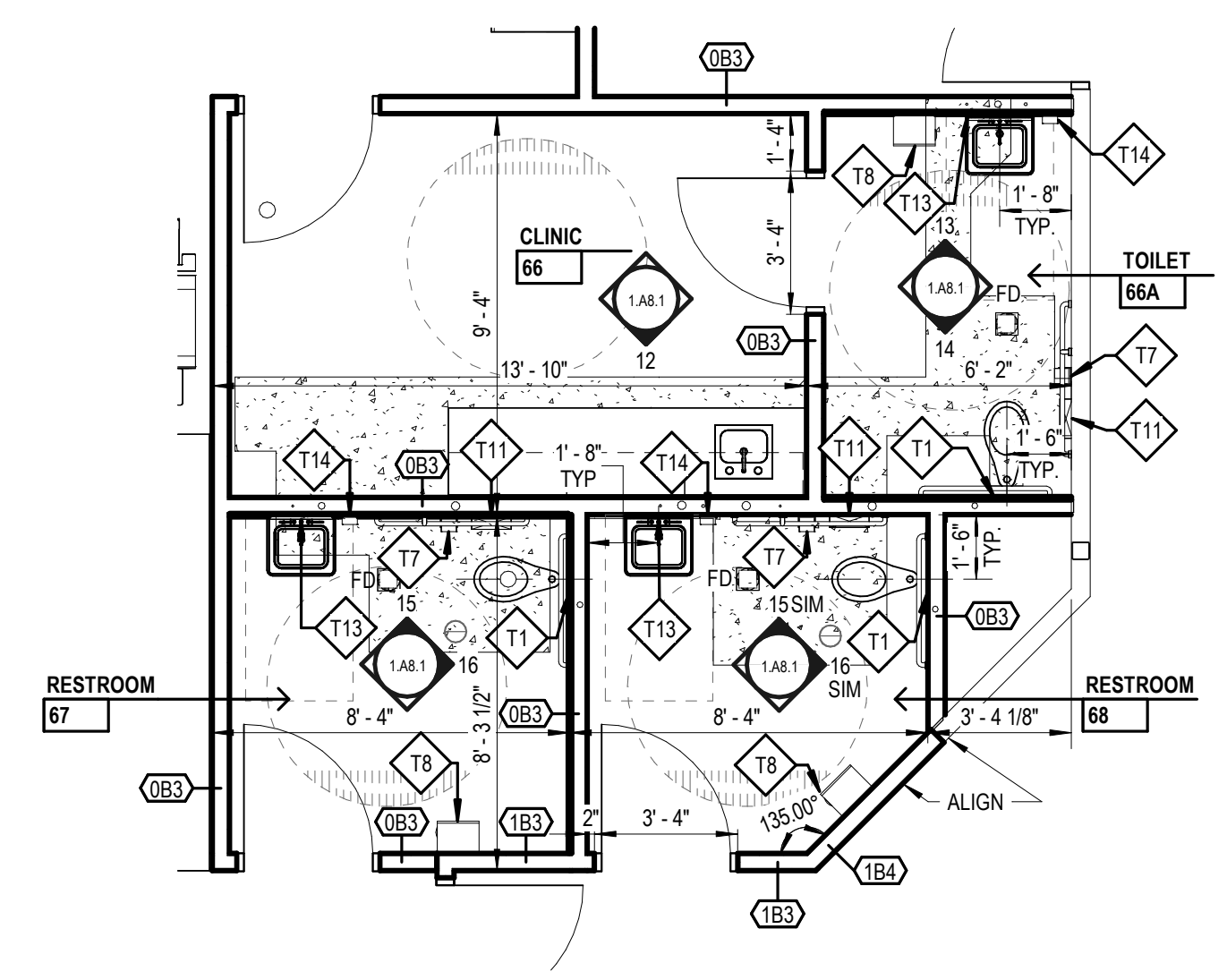
Bids 09-13-2024



**2 ENLARGED VESTIBULE PLAN**  
 1.A2.1 1/4" = 1'-0"

### KEYNOTES

- NEW WORK FLOOR PLAN**  
 SHADED ITEMS HAVE BEEN REVISED FROM PREVIOUS  
 NOTE: NOT ALL KEYNOTES MAY BE USED
- (E) LEGEND SYMBOL INDICATOR
  - A1 03 3000 PATCH AND REPAIR CONCRETE FLOOR AT LOCATION OF REMOVED WALL OR REMOVED SLAB PORTION. REFER TO STRUCTURAL DETAIL SL-13 PER SHEET 1.S0.3.
  - A2 03 3000 CONCRETE SLAB ON GRADE. REFER TO FOUNDATION PLAN PER SHEET 1.S1.1.
  - A3 POWER-OPERATED DOOR
  - A4 09 6623 TERRAZZO FLOORING AND WALL BASE REPAIR. REFER TO ROOM FINISH SCHEDULE.



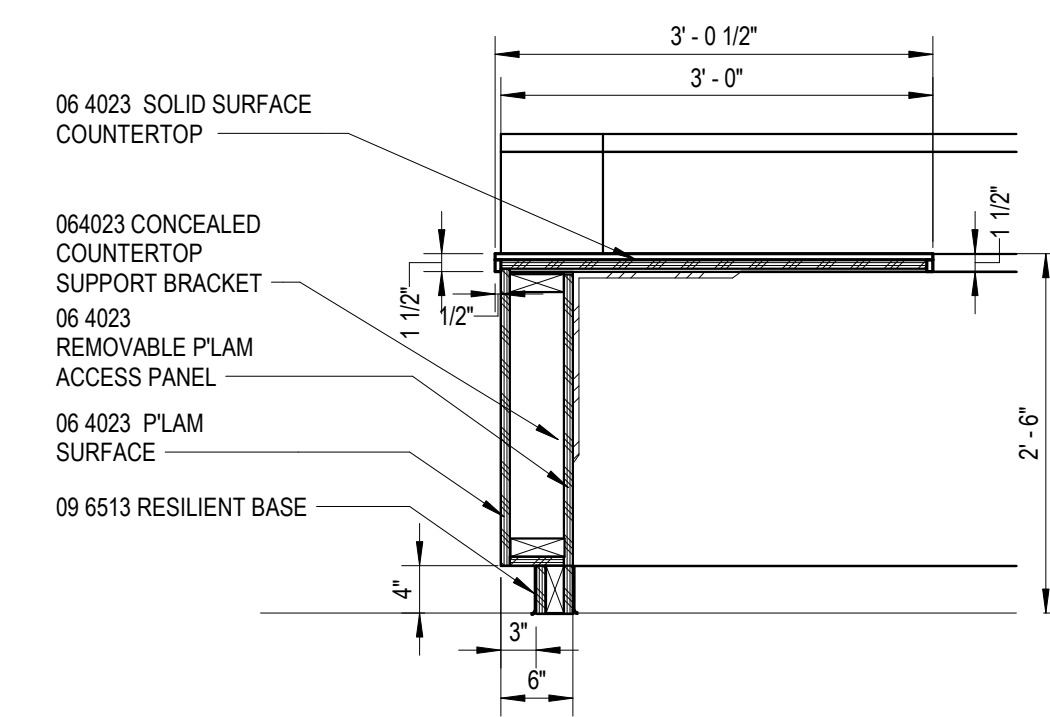
**1 ENLARGED TOILET ROOM PLANS**  
 1.A2.1 1/4" = 1'-0"

### LEGEND

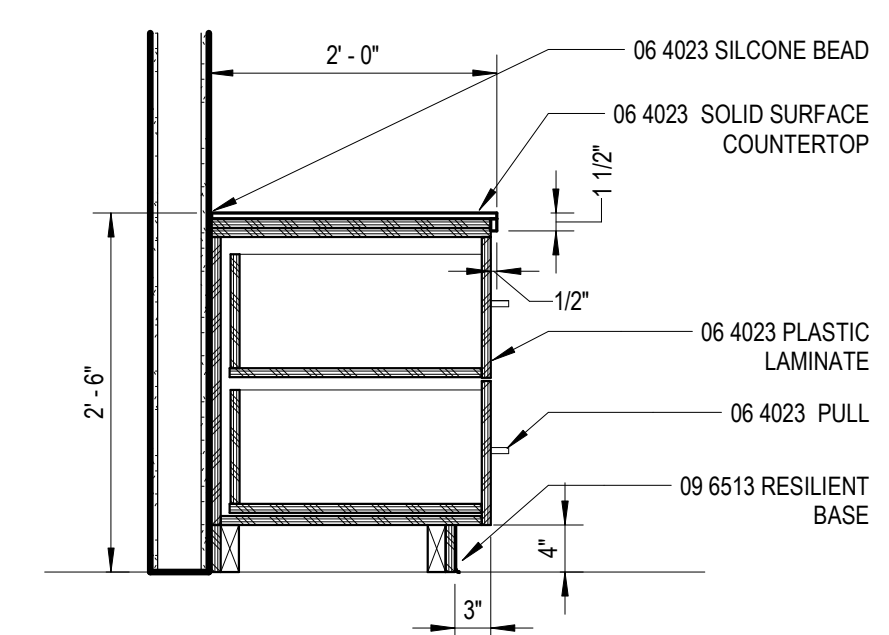
- TOILET ACCESSORIES**  
 SHADED ITEMS HAVE BEEN REVISED FROM PREVIOUS  
 NOTE: NOT ALL KEYNOTES MAY BE USED  
 REFER TO SPECIFICATION SECTION 10 2800 FOR ADDITIONAL INFORMATION ALL TOILET ACCESSORIES ARE CONTRACTOR FURNISHED AND INSTALLED UNLESS OTHERWISE NOTED (OFICI) OWNER FURNISHED/OWNER INSTALLED (OFIC) OWNER FURNISHED/CONTRACTOR INSTALLED REFER TO DRAWING 1.A6.0 FOR TYPICAL MOUNTING HEIGHTS
- (E) LEGEND SYMBOL INDICATOR
  - T1 GRAB BAR SET 1 (1) GRAB BAR TYPE 1, (1) GRAB BAR TYPE 2, (1) GRAB BAR TYPE 3 (OFICI)
  - T7 TOILET PAPER DISPENSER (OFICI)
  - T8 PAPER TOWEL DISPENSER (OFICI)
  - T11 SANITARY NAPKIN DISPOSAL (OFICI)
  - T13 MIRROR (OFICI)
  - T14 SOAP DISPENSER (OFICI)



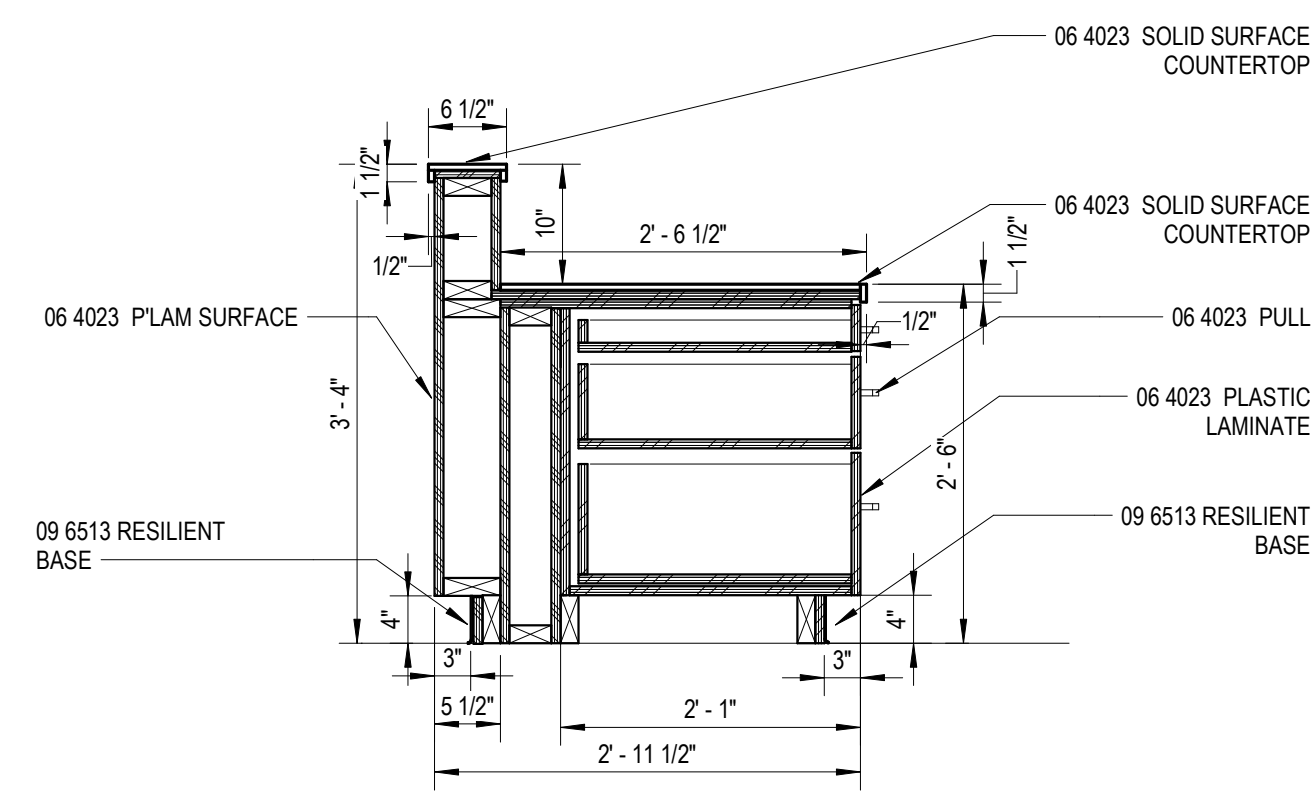
Van Buren Public Schools  
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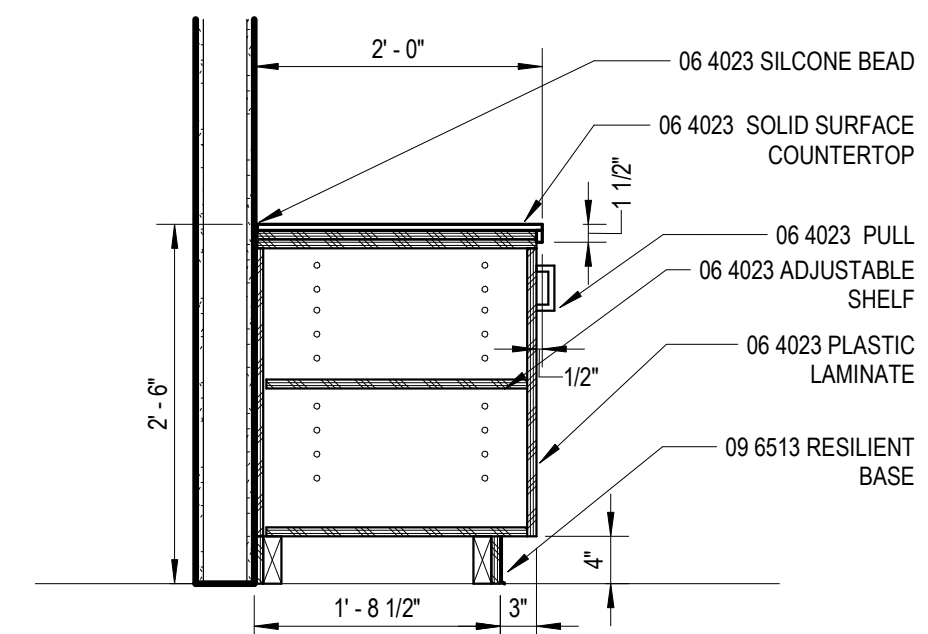
10 RECEPTION DESK - SECTION DETAIL  
1.A6.2 3/4" = 1'-0"



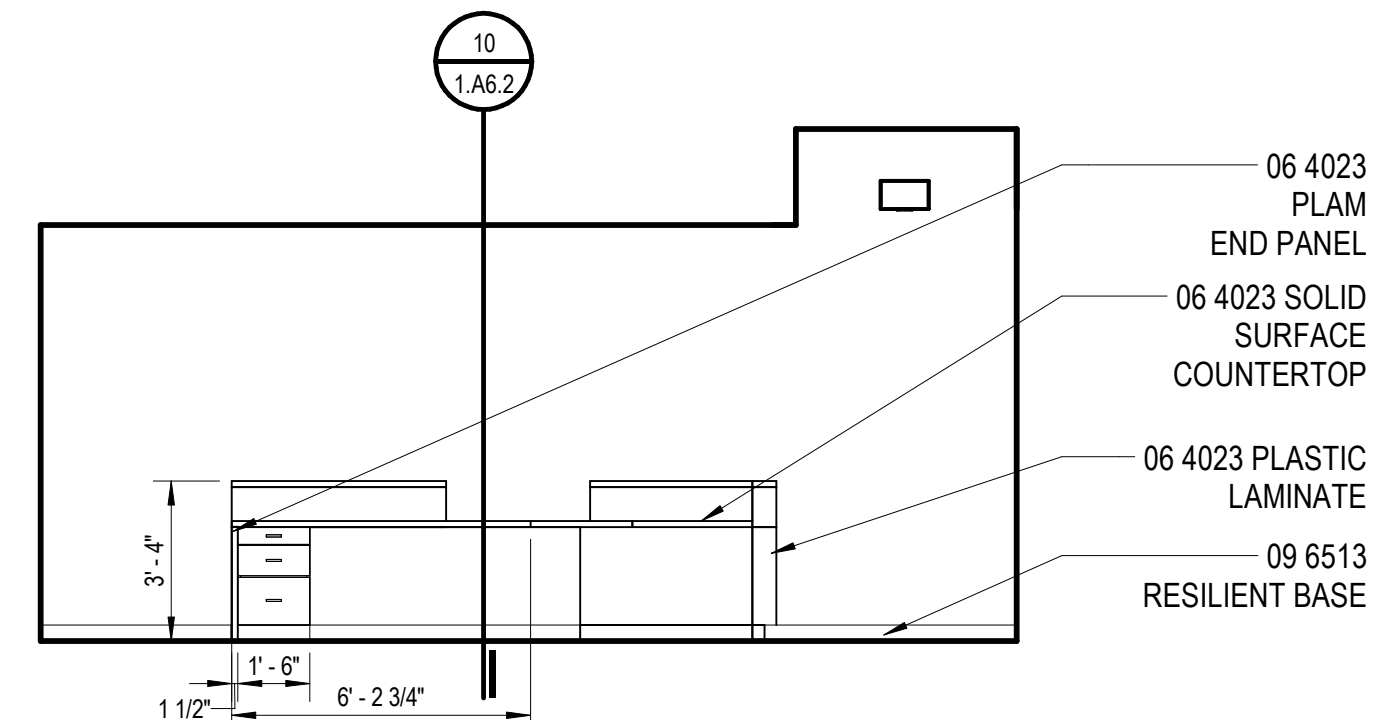
9 RECEPTION DESK - SECTION DETAIL  
1.A6.2 3/4" = 1'-0"



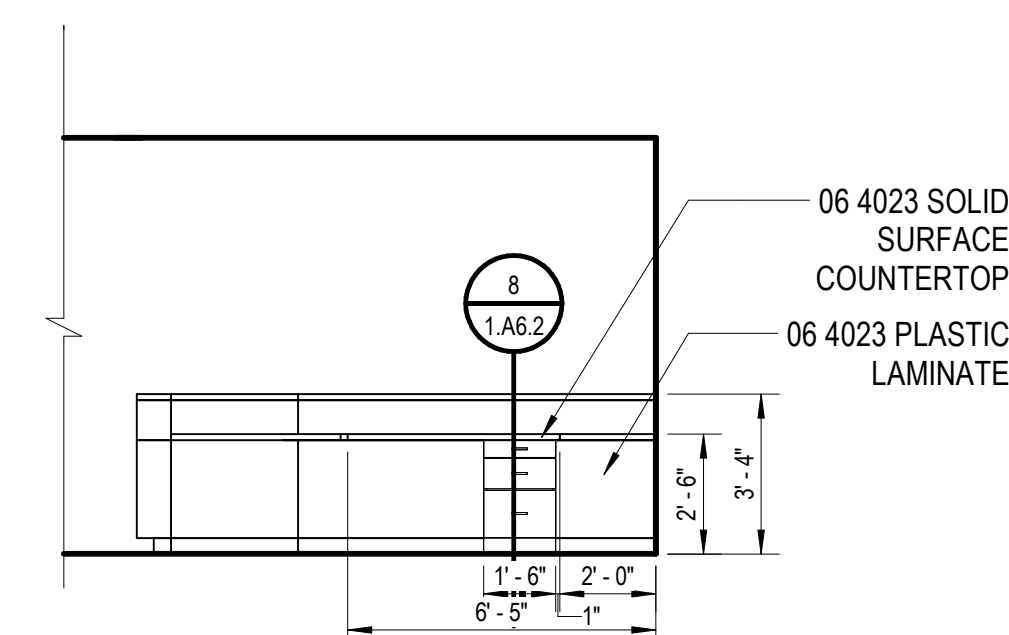
8 RECEPTION DESK - SECTION DETAIL  
1.A6.2 3/4" = 1'-0"



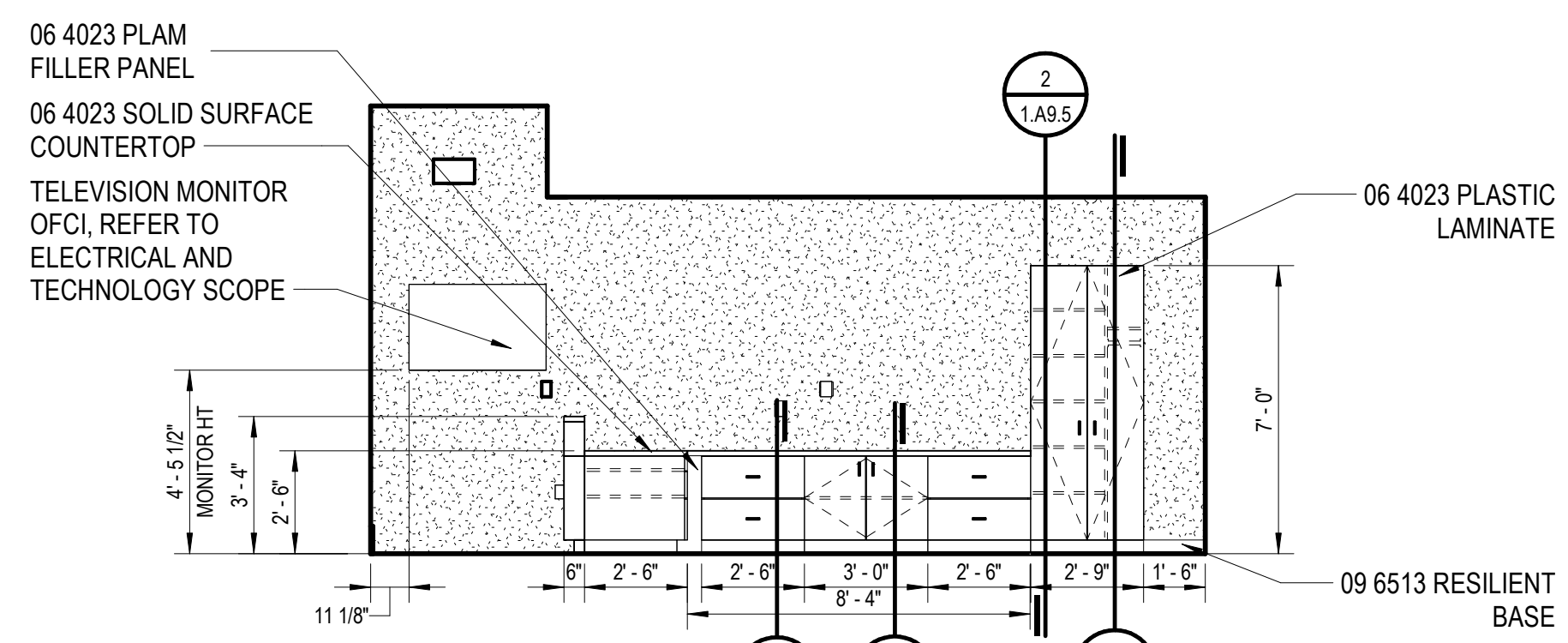
7 RECEPTION DESK - SECTION DETAIL  
1.A6.2 3/4" = 1'-0"



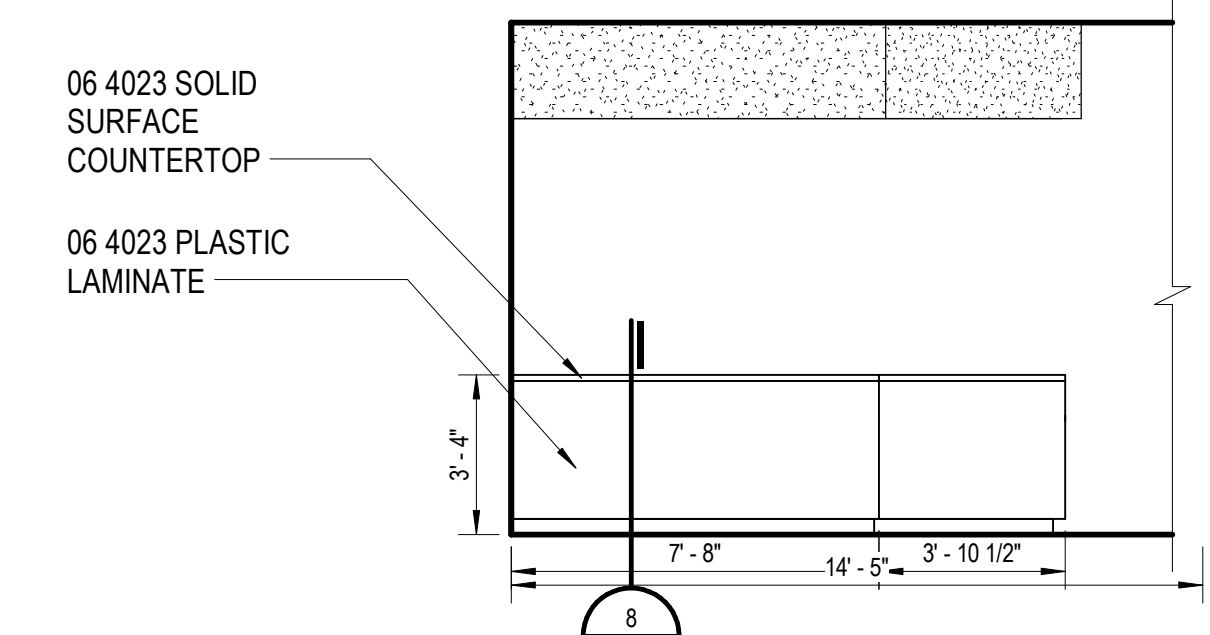
6 RECEPTION DESK  
1.A6.2 1/4" = 1'-0"



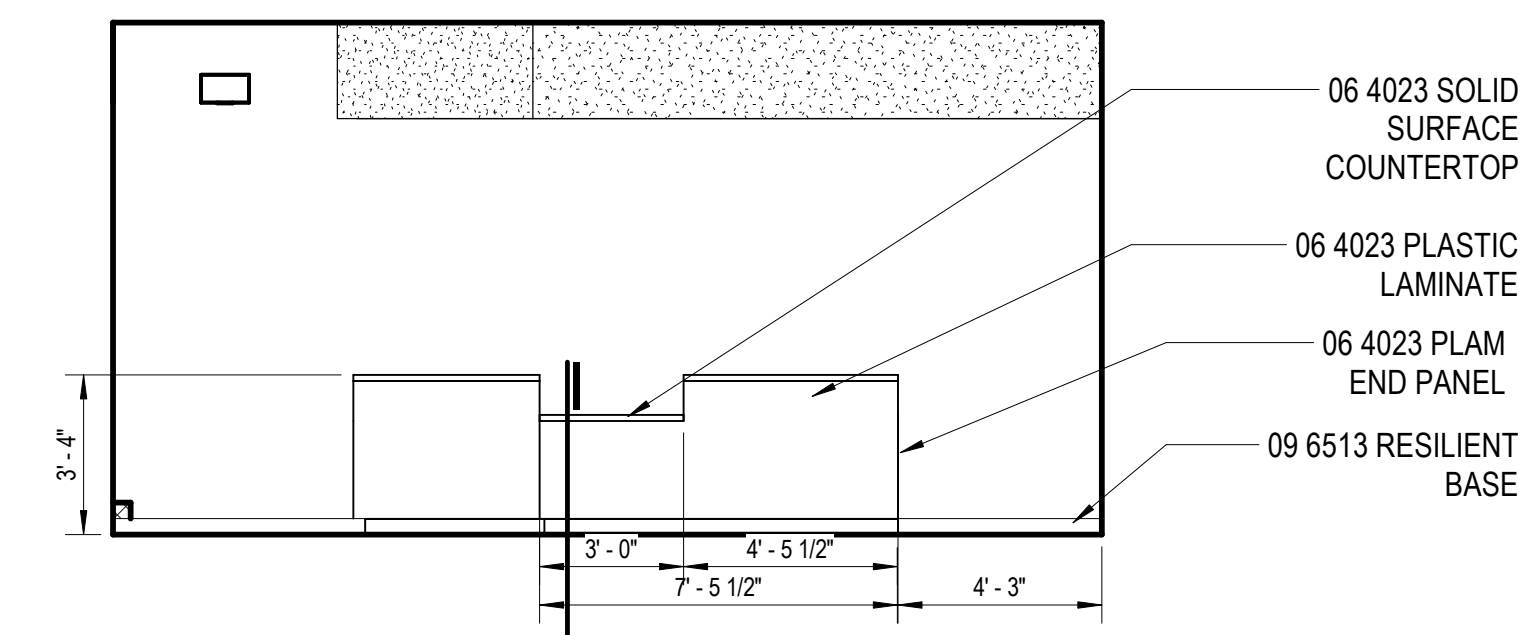
5 RECEPTION DESK  
1.A6.2 1/4" = 1'-0"



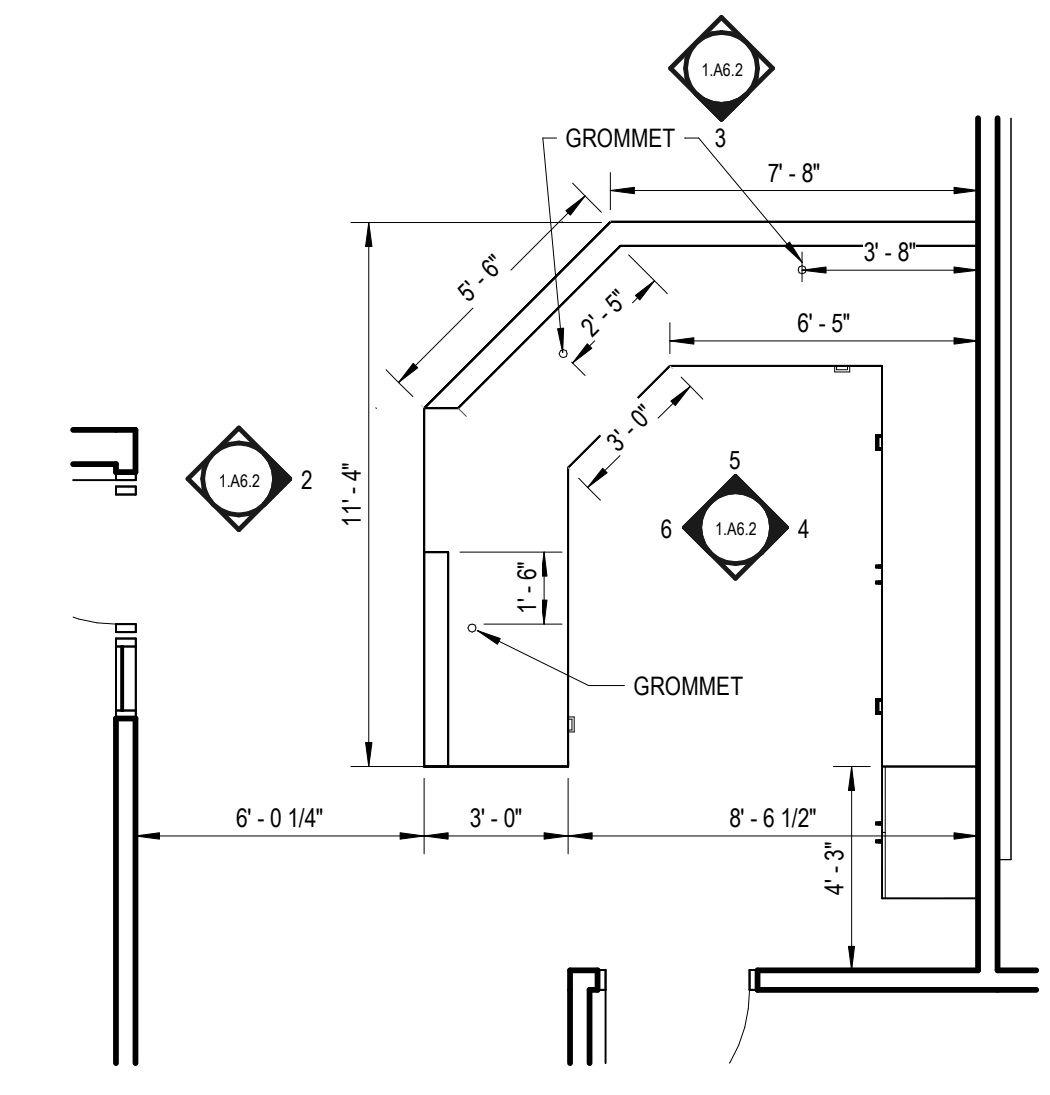
4 RECEPTION DESK  
1.A6.2 1/4" = 1'-0"



3 RECEPTION DESK  
1.A6.2 1/4" = 1'-0"



2 RECEPTION DESK  
1.A6.2 1/4" = 1'-0"



1 RECEPTION DESK ENLARGED PLAN  
1.A2.1 1/4" = 1'-0"

Project Administrator	A. Maurer
Project Designer	A. Peifrey
Project Architect / Engineer	C. King
Drawn By	D. Sandle
Q.M. Review	N. LaForest
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As Noted	
Issued for	Issue Date
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## GENERAL NOTES

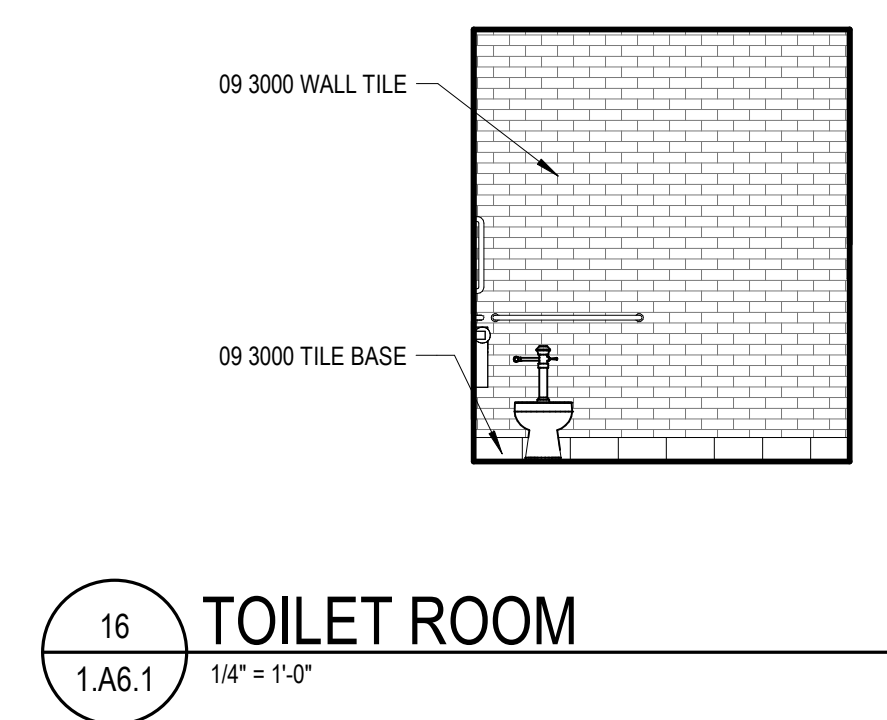
- INTERIOR ELEVATIONS**
- ALL DIMENSIONS ARE TO FACE OF GYP BOARD UNON.
  - COORDINATE THE INTERFACING OF ALL TRADES WITH RESPECT TO DELIVERY AND INSTALLATION OF ALL FIXTURES AND EQUIPMENT
  - CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE INSTALLATION. CONSULT ARCHITECT WHEN ACTUAL FIELD CONDITIONS VARY FROM THOSE SHOWN ON CONSTRUCTION DOCUMENTS.
  - COORDINATE LOCATIONS OF ALL REQUIRED UTILITIES WITH THE TRADE PROVIDING THE SAME. REFER TO MECHANICAL AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
  - FASTEN ALL TALL CASES TO THE ADJOINING WALL THROUGH THE BACK OR SIDE OF THE UNIT.
  - ALL COUNTERTOPS INSTALLED ALONG A WALL OR EQUIPMENT ARE TO HAVE 4" BACKSPLASH AND SIDE SPLASH UNON.
  - FINISH ALL EXPOSED ENDS AND BACKS OF FREESTANDING CASEWORK/ MILLWORK.
  - PROVIDE LOCKS ON ALL CABINET DOORS AND DRAWERS UNON. ALL LOCKS SHOULD BE KEYPED ALIKE BY ROOM. PROVIDE MASTER KEYING.
  - REFER TO A8.1 ROOM FINISH SCHEDULE FOR COLORS AND FINISHES OF MATERIALS
  - REFER TO PLANS, SECTIONS AND DETAILS FOR CASEWORK DEPTH.
  - PROVIDE CABINET FILLERS AS NEEDED.
  - FURNITURE AND SPECIALTY EQUIPMENT BY OTHERS SHOWN FOR REFERENCE ONLY.
  - FURNITURE SHOWN AT HALFTONE BY OWNER
  - PROVIDE PARTITION REINFORCEMENT AT LOCATIONS OF WALL MOUNTED EQUIPMENT. REFER TO DETAIL X1AX.X FOR TYPICAL REQUIREMENTS AT NEW CONSTRUCTION. CONDITIONS MAY VARY AT EXISTING PARTITIONS.
  - NOT ALL SIGN LOCATIONS ARE ELEVATED
  - COORDINATE LOCATIONS OF ALL REQUIRED UTILITY CONNECTIONS AND/OR REQUIREMENTS WITH THE TRADE PROVIDING THE SAME

## LEGEND

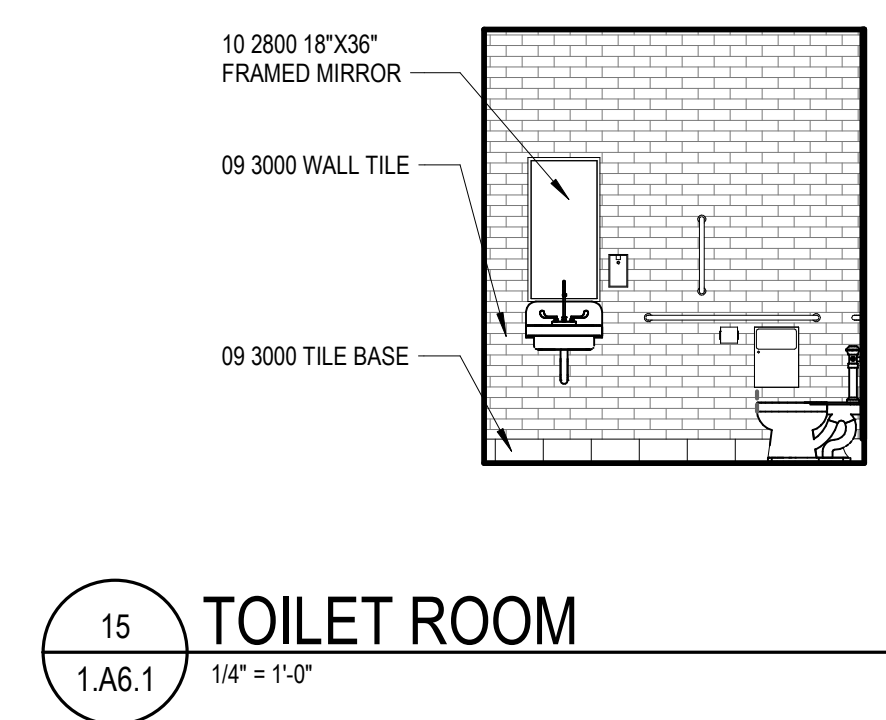
- INTERIOR ELEVATIONS**  
NOTE: NOT ALL SYMBOLS MAY BE USED
- XXXX 06 4023 CASEWORK / MILLWORK TAG
  - XXXX 10 1100 VISUAL DISPLAY SURFACE MK= MARKERBOARD, TK= TACKBOARD XXXX INDICATES BOARD SIZE
  - XXXX SPECIALTY EQUIPMENT BY OTHERS REFER TO FF&E OR TECHNOLOGY PACKAGES
  - XX-XX ACCENT MATERIAL. REFER TO COLOR CODES

## LEGEND

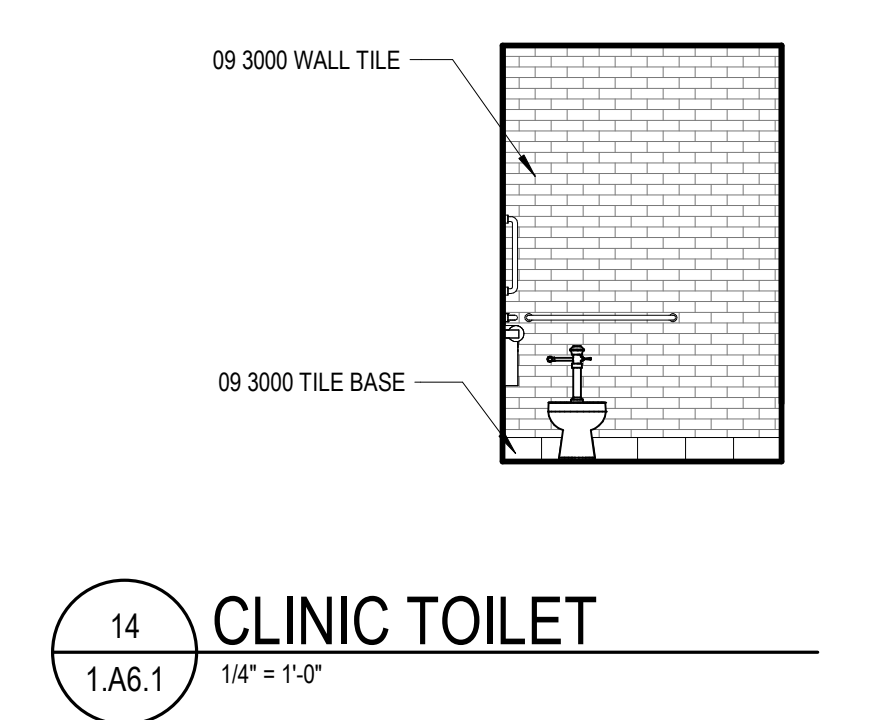
- ELEVATION MATERIALS**  
NOTE: NOT ALL SYMBOLS MAY BE USED
- 04 2000 CMU BLOCK
  - 04 2000 BRICK MASONRY
  - EXISTING BRICK MASONRY
  - 09 2900 GYP BOARD
  - 07 2423 DRYVIT SYSTEM



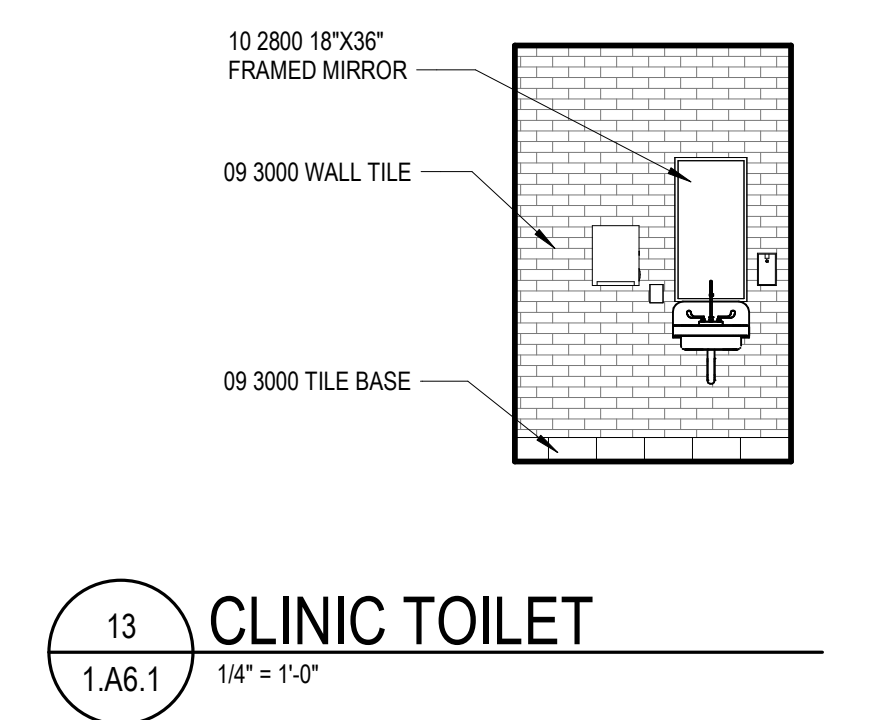
16 TOILET ROOM  
1.A6.1 1/4" = 1'-0"



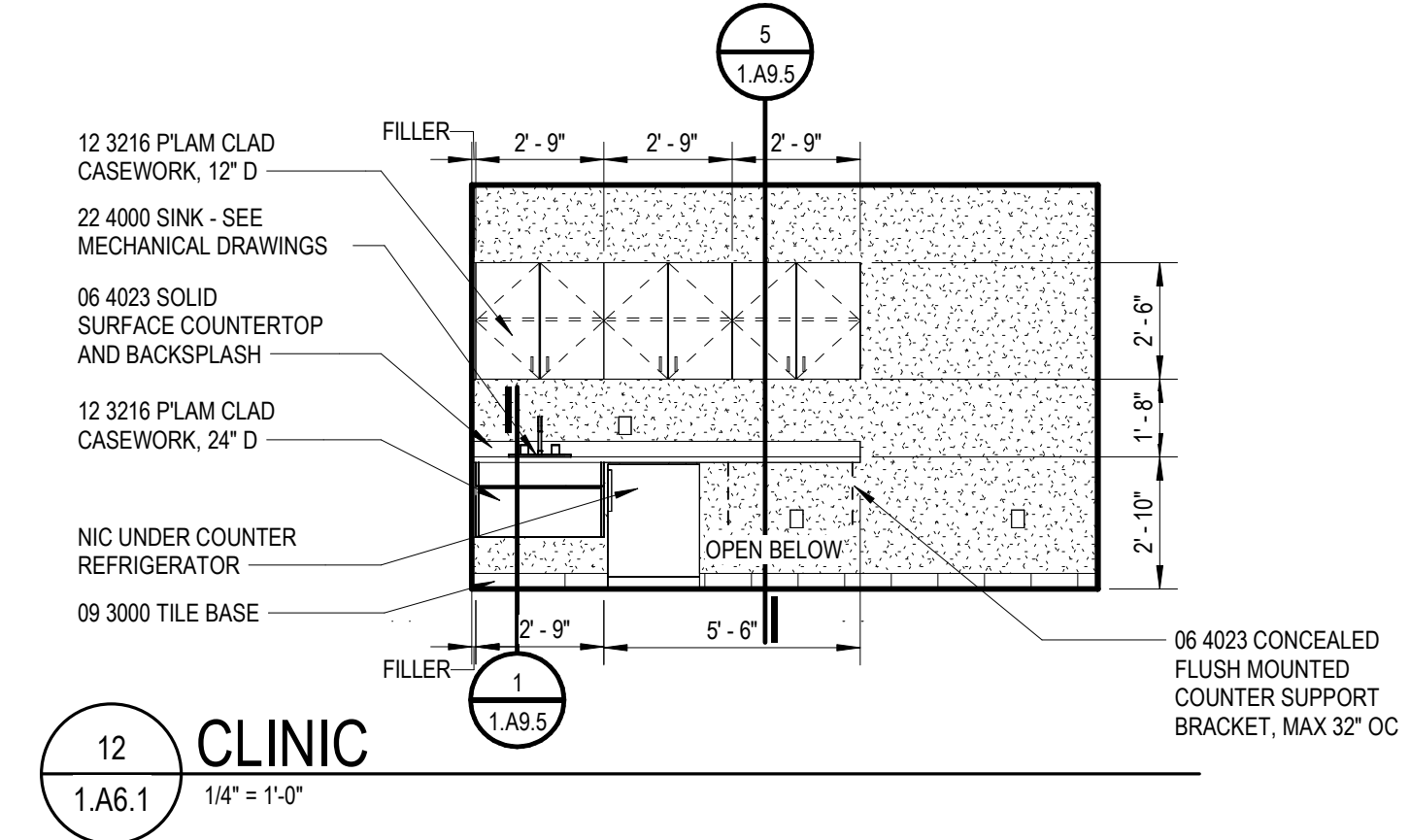
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1.A6.1 1/4" = 1'-0"



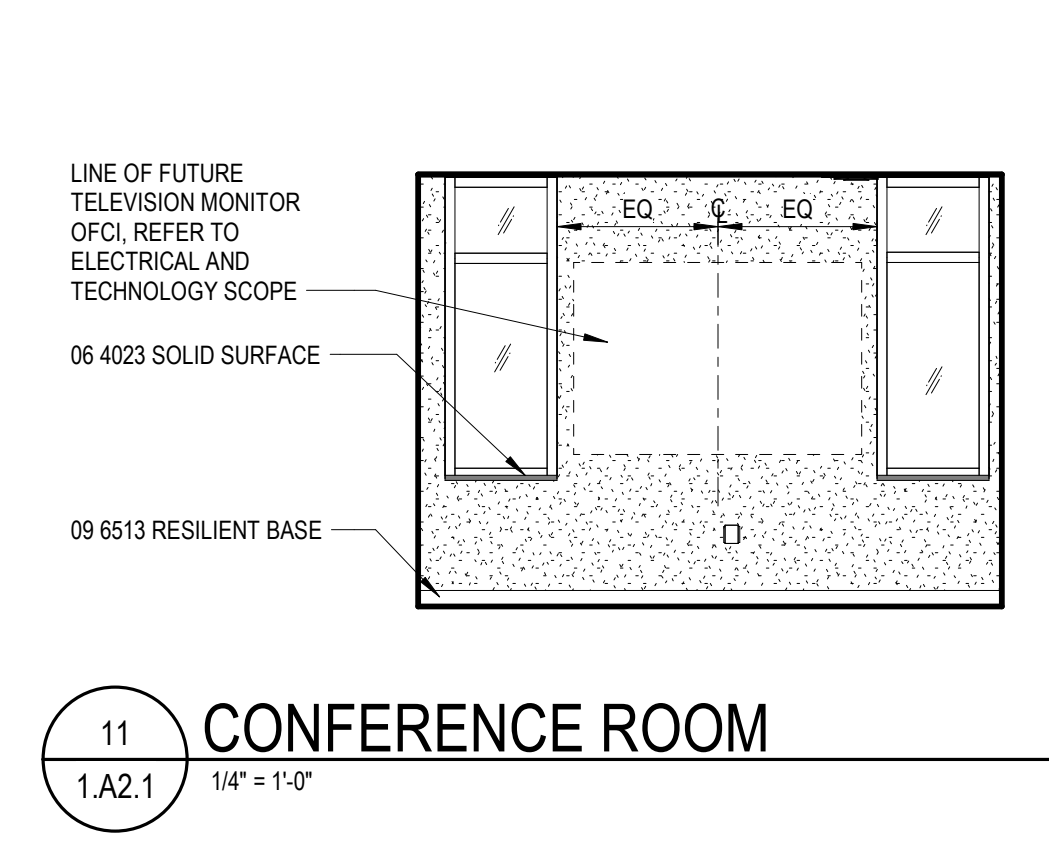
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1.A6.1 1/4" = 1'-0"



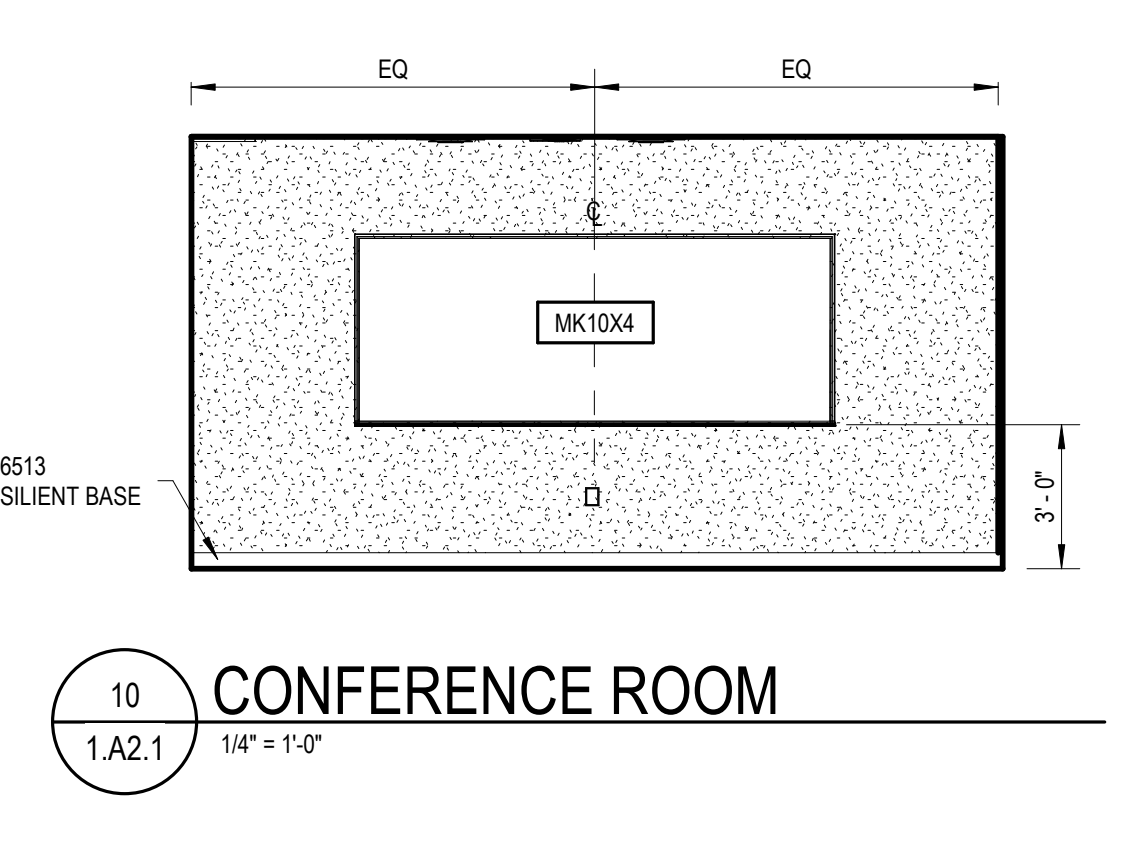
13 CLINIC TOILET  
1.A6.1 1/4" = 1'-0"



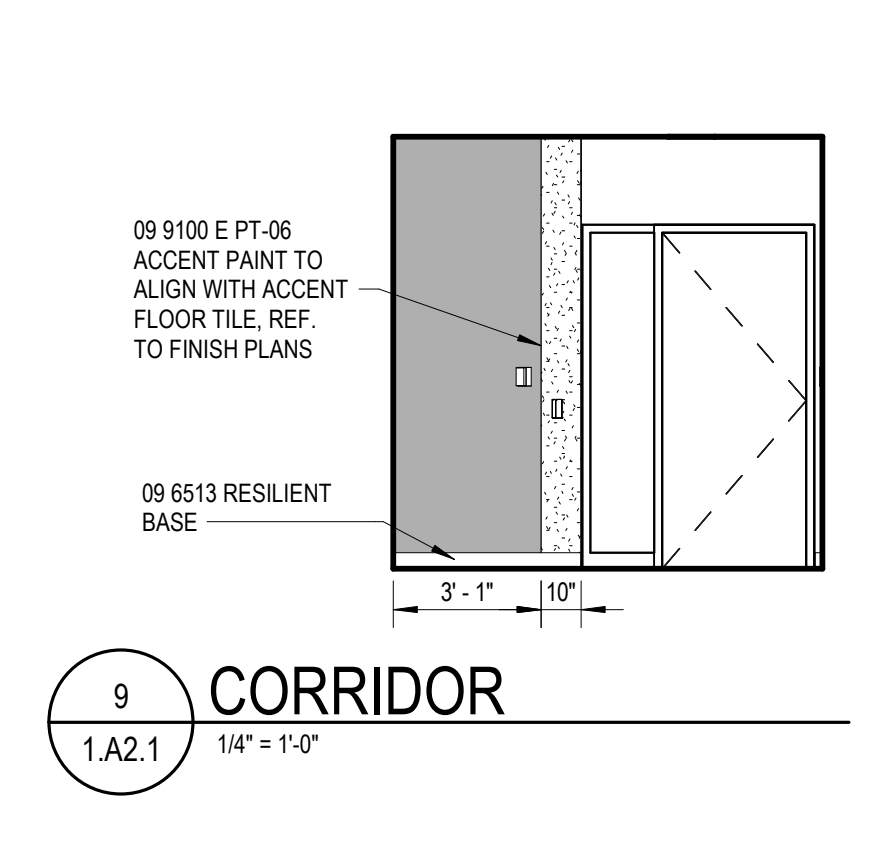
12 CLINIC  
1.A6.1 1/4" = 1'-0"



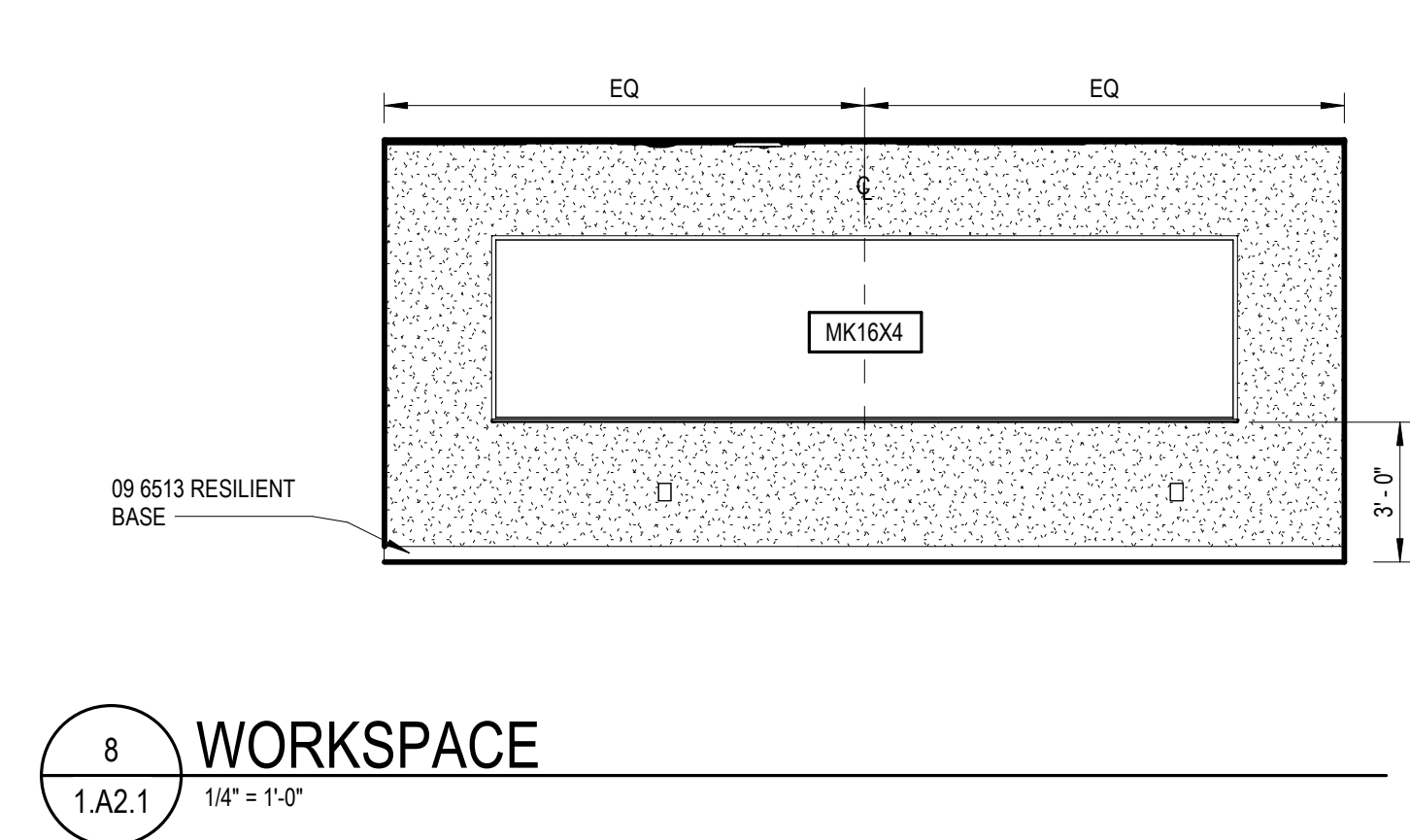
11 CONFERENCE ROOM  
1.A2.1 1/4" = 1'-0"



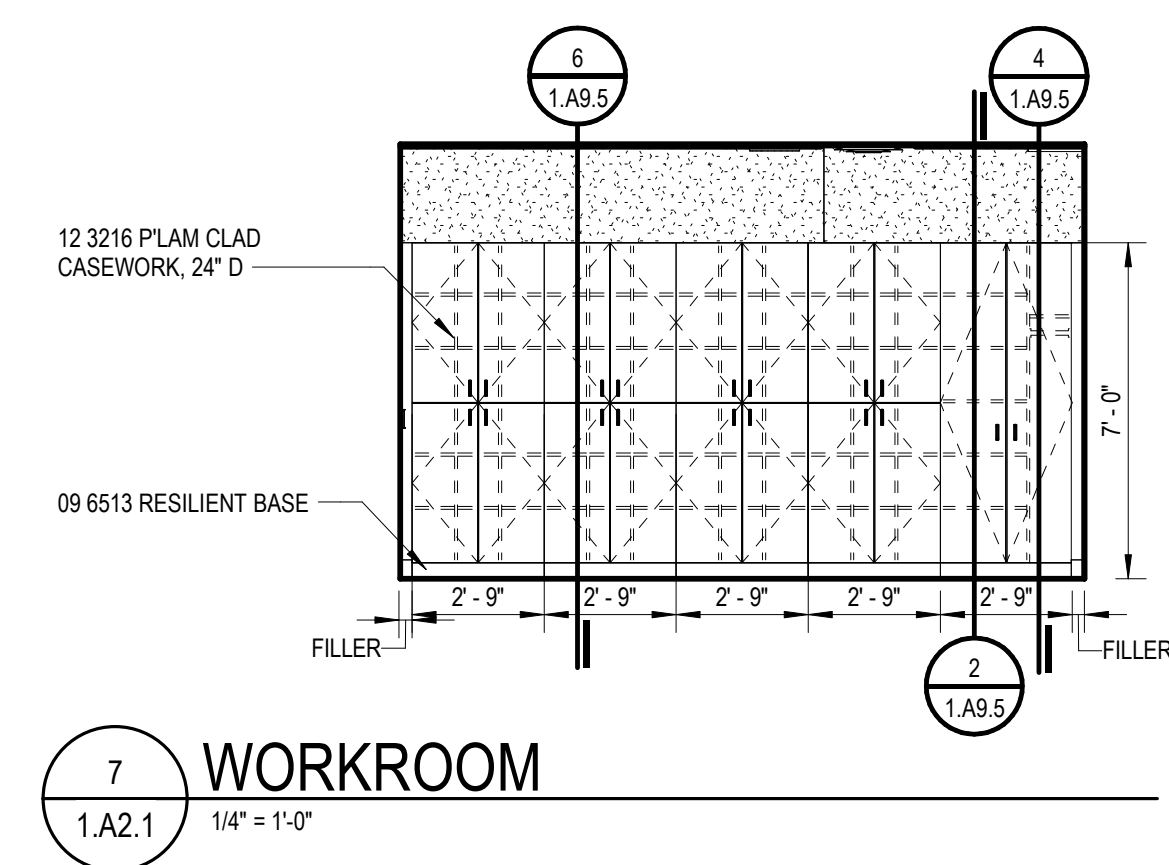
10 CONFERENCE ROOM  
1.A2.1 1/4" = 1'-0"



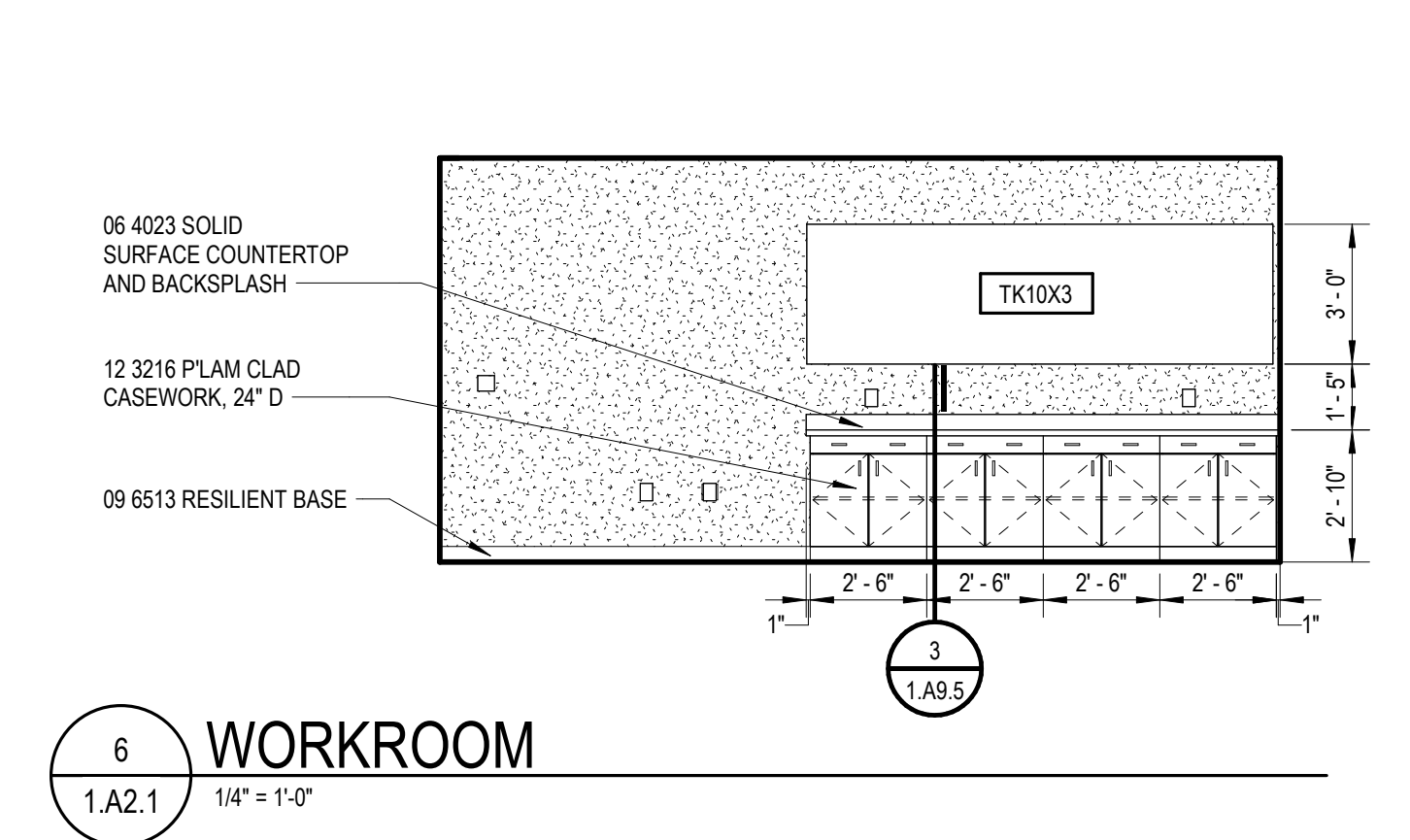
9 CORRIDOR  
1.A2.1 1/4" = 1'-0"



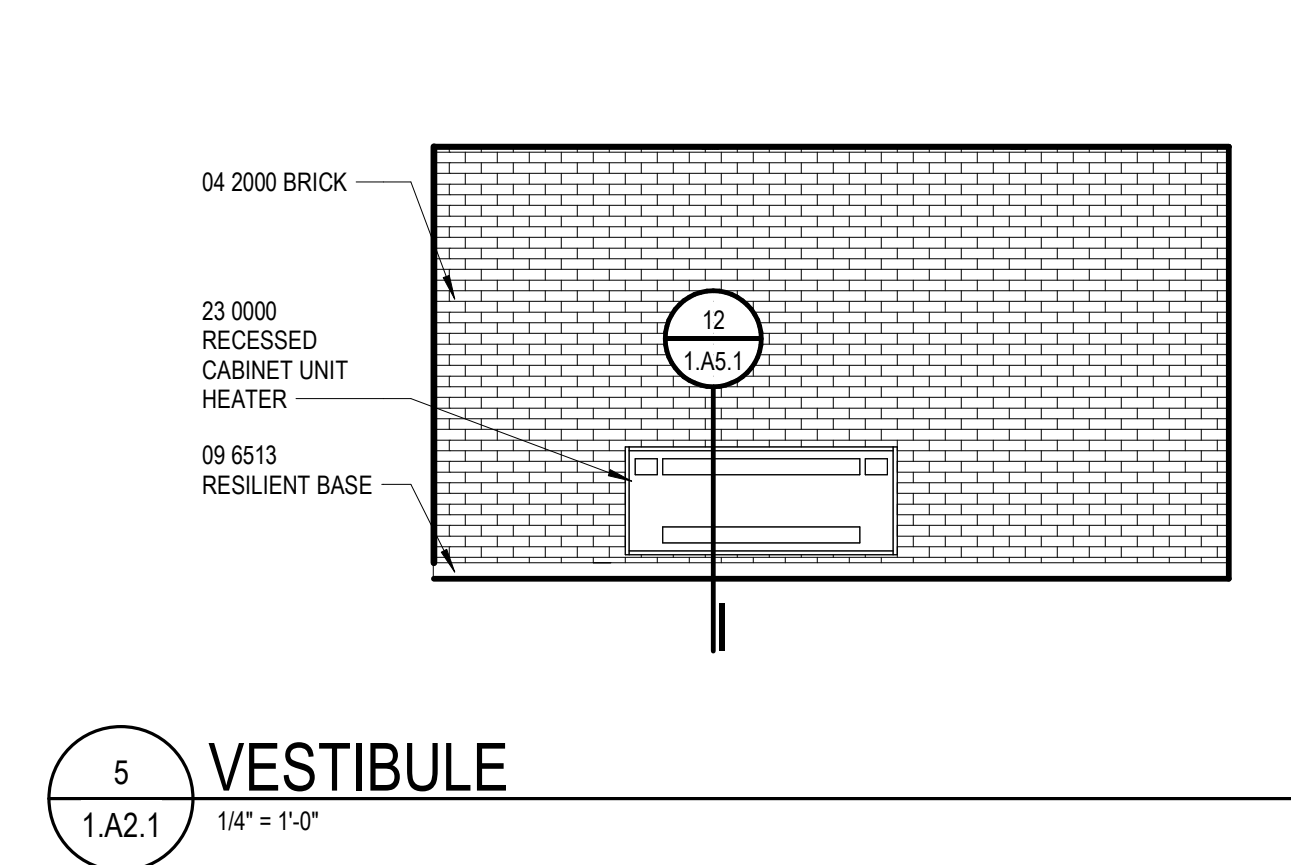
8 WORKSPACE  
1.A2.1 1/4" = 1'-0"



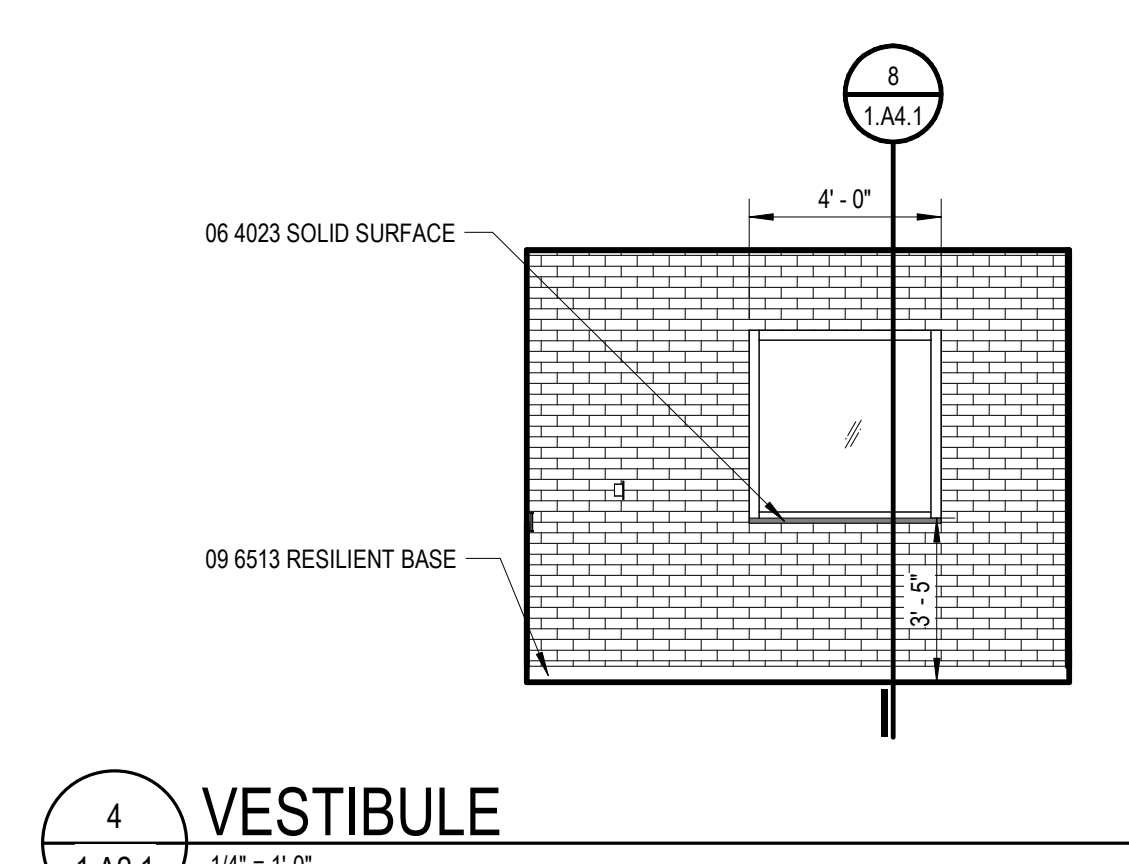
7 WORKROOM  
1.A2.1 1/4" = 1'-0"



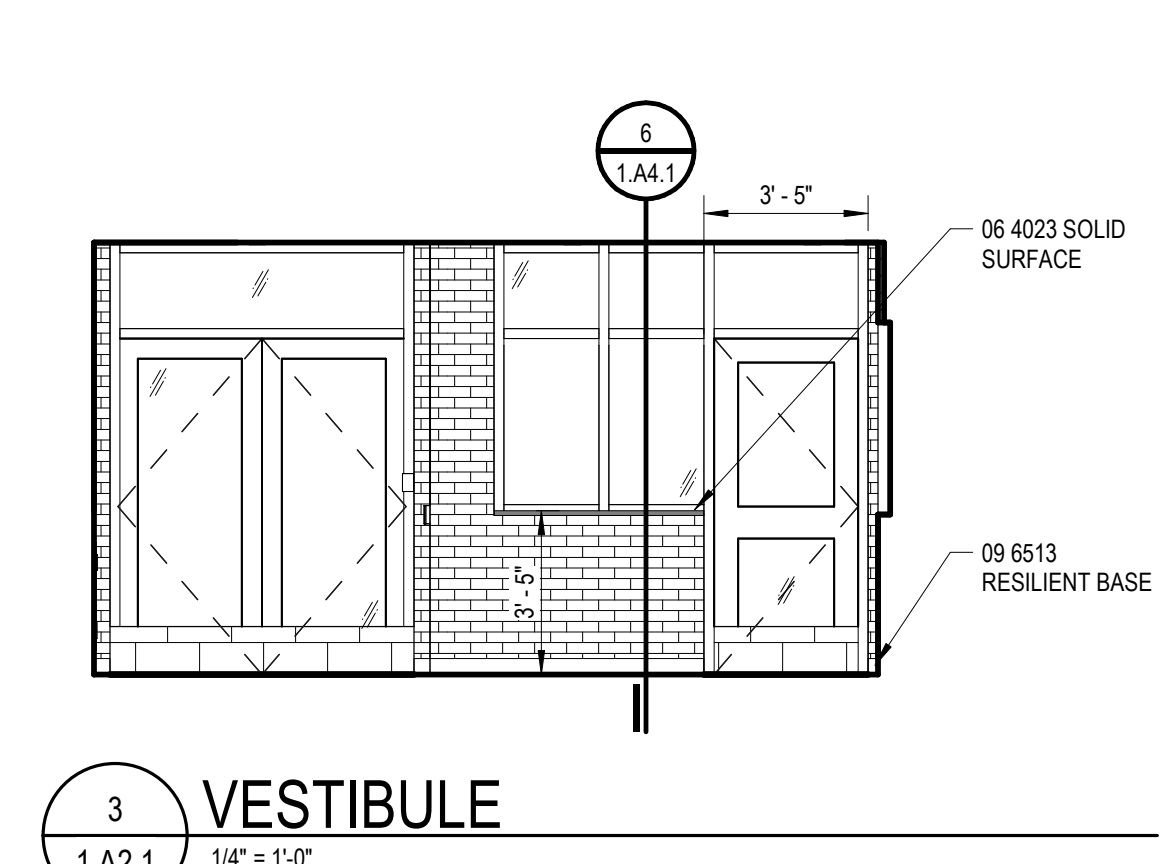
6 WORKROOM  
1.A2.1 1/4" = 1'-0"



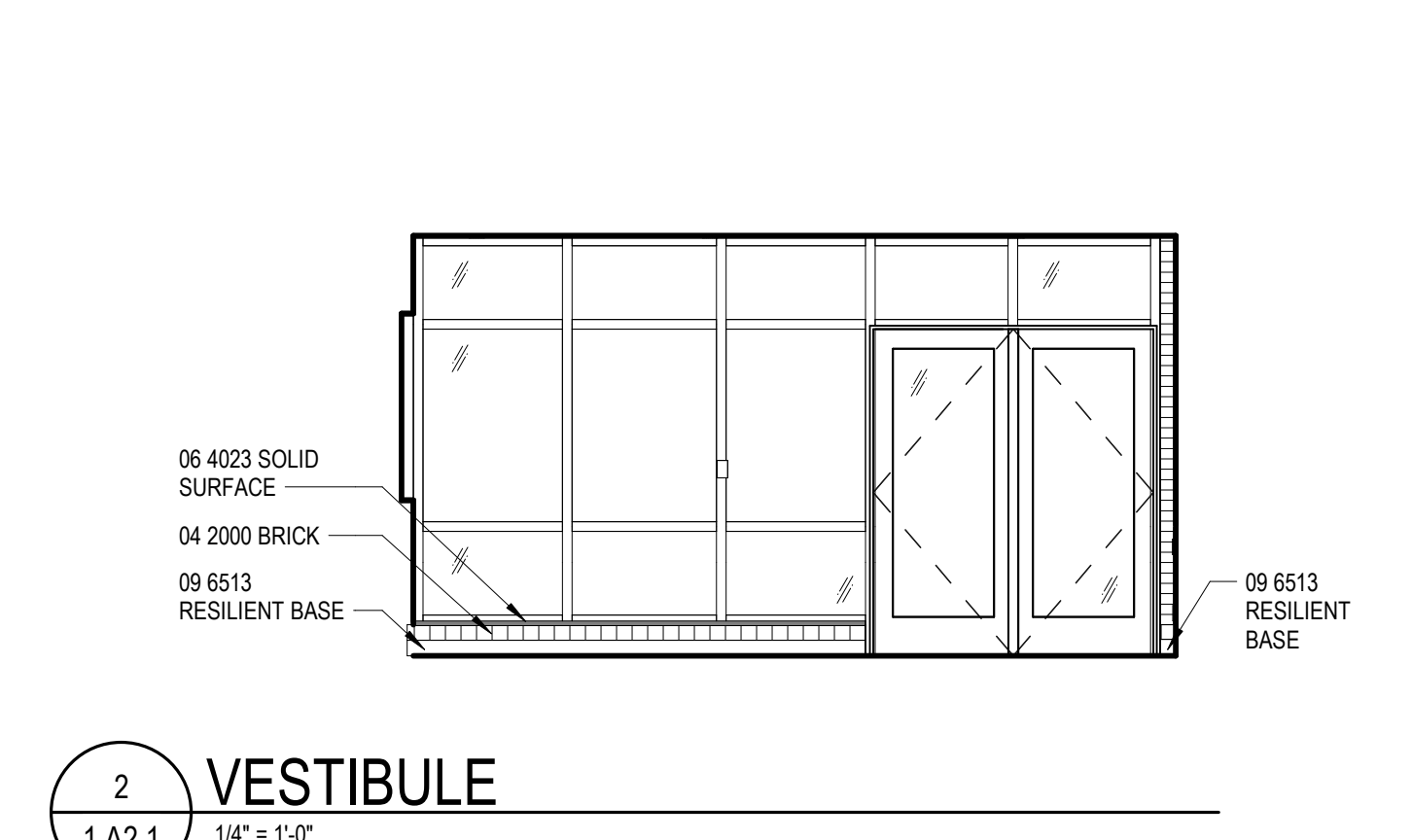
5 VESTIBULE  
1.A2.1 1/4" = 1'-0"



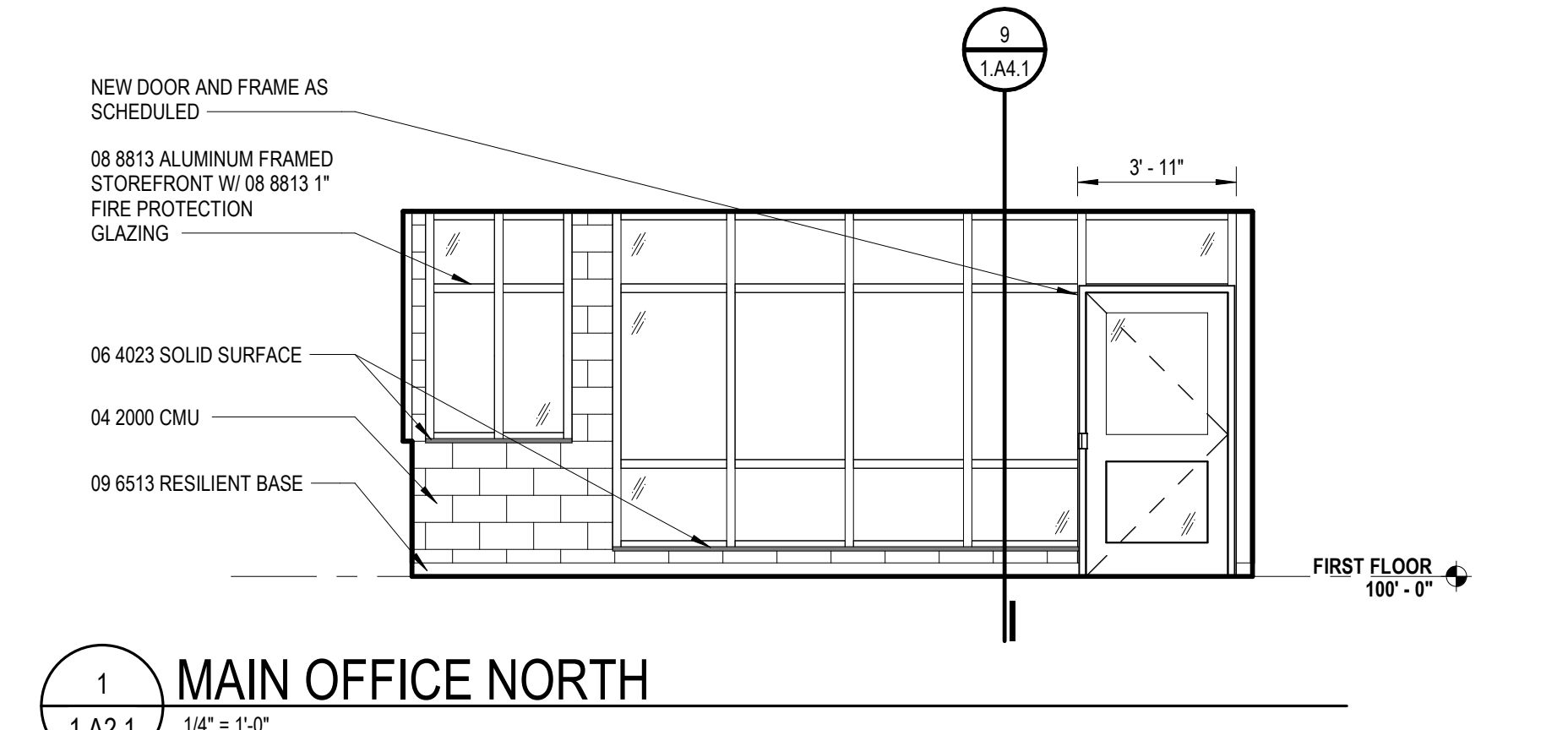
4 VESTIBULE  
1.A2.1 1/4" = 1'-0"



3 VESTIBULE  
1.A2.1 1/4" = 1'-0"



2 VESTIBULE  
1.A2.1 1/4" = 1'-0"



1 MAIN OFFICE NORTH  
1.A2.1 1/4" = 1'-0"

Project Title



Van Buren Public Schools  
Savage & Tyler Elementary  
Schools Secured Entry  
Renovations

Key Plan

Project Administrator  
A. Maurer  
Project Designer  
A. Palfrey  
Project Architect / Engineer  
C. King  
Drawn By  
D. Sandle  
Q.M. Review  
N. LaForest  
Approved  
B. Sundberg  
Drawing Scale  
As Noted

Issued for Issue Date  
Design Development 06-24-2024  
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IDS Drawing Title

Interior Elevations



**SCHEDULE - COLOR CODES**

COLOR CODES	PRODUCT / MATERIAL	MANUFACTURER	PRODUCT NAME / NUMBER	COLOR NAME / NUMBER	SIZE	FINISH	NOTES
AC-01	ACOUSTICAL PANEL	USG	ECLIPSE 7675	WHITE	24"X24" SQUARE EDGE		
B-01	RESILIENT BASE	ROPPE	PINNACLE RUBBER COVE BASE 4"	BLACK 100			
B-02	TILE BASE	CROSSVILLE	ARGENT	CLEAN SLATE	6"X12" COVE BASE		
B-04	TERRAZZO			MATCH EXISTING			TERRAZZO BASE REPAIR
CPT-06	CARPET TILE	INTERFACE	DETOURS	STEEL	90CM X 90CM		QUARTER TURN INSTALLATION METHOD
E-PT-01	EPOXY PAINT	SHERWIN WILLIAMS		FROSTY WHITE SW6196			
BNT-01	CARPET	MANNINGTON COMMERCIAL	FRIXTION ENTRYWAY SYSTEM, CHARGE	KINETIC	18"X36"		INSTALLATION METHOD ASHLAR
FT-01	FLOOR TILE	CROSSVILLE	ARGENT	CLEAN SLATE	6"X6"	UNPOLISHED	STRAIGHT LAY INSTALLATION
FT-03	FLOOR TILE	CROSSVILLE	ARGENT	ORANGE CRUSH	6"X6"	UNPOLISHED	STRAIGHT LAY INSTALLATION
LN-01	LINOLEUM	FORBO	MCT	EIGER MCT 629	13"X13"	TOPSHIELD PRO	CORRIDOR FIELD
LN-04	LINOLEUM	FORBO	MCT	LAGUNA MCT 3238	13"X13"	TOPSHIELD PRO	ACCENT
PL-01	PLASTIC LAMINATE	WILSONART		NEO WALNUT 7991-38			
PL-03	PLASTIC LAMINATE	WILSONART		WEATHERED CHAIR 8294K-16			
PT-01	PAINT	SHERWIN WILLIAMS		FROSTY WHITE SW6196			FIELD
PT-03	PAINT	SHERWIN WILLIAMS		HIGH REFLECTIVE WHITE SW7757			FLAT CEILING
PT-06	PAINT	SHERWIN WILLIAMS		JAMACIA BAY SW6781			ACCENT
PT-07	PAINT	SHERWIN WILLIAMS		BLACK MAGIC SW6991			HOLLOW METAL DOORS AND FRAMES
PT-09	PAINT	SHERWIN WILLIAMS		MARIGOLD SW6664			ACCENT
SC-01	SHADE CLOTH	DRAPER HERMET	GREEN SCREEN EVOLVE 3%	NATURAL			
SS-02	SOLID SURFACE MATERIAL	CORIAN		NEUTRAL CONCRETE			
SS-03	SOLID SURFACE MATERIAL	LG HI-MACS		HAZE / M308			WINDOW SILLS
SS-04	SOLID SURFACE MATERIAL	LG HI-MACS		RIPE COTTON G518R			RECEPTION DESK
TK-02	TACKBOARD	MAHARAM	MESSENGER	TANGELO 053			
TZ-01	TERRAZZO						TERRAZZO FLOOR REPAIR
WD-01	WOOD DOORS	VT INDUSTRIES		WHITE OAK		CLEAR	
WT-01	WALL TILE	AMERICAN OLEAN	COLORSTORY	BALANCE 14	3"X6"		1/3RD OFFSET INSTALLATION

**SCHEDULE - WINDOW SHADES**

TYPE	LENGTH	WIDTH	HOUSING	MANUFACTURER	MATERIAL	MECHANISM	MOUNTING
W3 W3.1	6' - 2"	8' - 0"	0"	DRAPER	SC-01	MANUAL - SINGLE ROLLER	INSIDE MOUNT, SMALL HEADBOX
W6 W6.2	6' - 2"	2' - 4"	0"	DRAPER	SC-01	MANUAL - SINGLE ROLLER	INSIDE MOUNT, SMALL HEADBOX
W7 W7.1	4' - 0"	4' - 0"	0"	DRAPER	SC-01	MANUAL - SINGLE ROLLER	INSIDE MOUNT, SMALL HEADBOX

**SCHEDULE - ROOM FINISH**

NUMBER	NAME	FLOOR	BASE	WALL	CEILING	REMARKS
45	VESTIBULE	ENT-01	B-01	PT-01	GYP-01	6
52	MAIN OFFICE	CPT-06	B-01	PT-01,PT-09	AC-01,GYP-01,PT-03	5,6
53	OFFICE	CPT-06	B-01	PT-01	AC-01	3,6
63	CONFERENCE	CPT-06	B-01	PT-01,PT-09	AC-01	3,6
64	WORK ROOM	CPT-06	B-01	PT-01	AC-01	4,5,7
69	CLINIC	FT-01,FT-03	B-02	E-PT-01	AC-01	1,2,9
73	TOILET	FT-01,FT-03	B-02	WT-01	GYP-01,PT-03	1,2
75	RESTROOM	(E),FT-01,FT-03	B-02	WT-01	GYP-01,PT-03	1,2
76	WORKSPACE	CPT-06	B-01	PT-01,PT-09	AC-01	4,7,8
79	CORRIDOR	(E),TZ-01	(E),B-04	PT-01,(E)	AC-01,(E)	10,12,13
100	RESTROOM	FT-01,FT-03	B-02	WT-01	GYP-01,PT-03	1,2
102	NEIGHBORHOOD C	(E),LN-01,LN-04	(E),B-01	(E),PT-01,PT-06	AC-01,(E)	6,11
112	STORAGE	CPT-06	B-01	PT-01	AC-01	
C1	CORRIDOR	(E),TZ-01	(E),B-04	(E)	(E)	8,12,13
C3	CORRIDOR	(E),TZ-01	(E),B-04	(E)	(E)	8,12,13

**ABBREVIATIONS**

ROOM FINISH SCHEDULE	DESCRIPTION
AC PANEL	ACOUSTICAL PANEL
ACT	ACOUSTICAL CEILING TILE
CC	COLOR CODE
CG	CORNER GUARD
CMU	CONCRETE MASONRY UNIT
CT	CERAMIC TILE
CEM PLAS	CEMENT PLASTER
CONC	CONCRETE
DEFS	DIRECT APPLIED EXTERIOR FINISH SYSTEM
(E)	EXISTING FINISH
EFIS	EXTERIOR INSULATION FINISH SYSTEM
EPF	EPOXY PAINT
E TERR	EPOXY TERRAZZO
ENTR MAT	ENTRY MAT SYSTEM
EXP CONST	EXPOSED CONSTRUCTION
FWC	FABRIC WALL COVERINGS
GF CMU	GROUND FACE CONCRETE MASONRY UNIT
GL CMU	GLAZED CONCRETE MASONRY UNIT
GYP BD	GYPSONUM BOARD
HDLSR	HARDENER SEALER
IR GYP BD	IMPACT RESISTANT GYPSONUM BOARD
LIMEST	LIMESTONE
LNO	LINOLEUM
MCC	MULTI-COLORED COATING
MTL	METAL
MTL PNL	METAL PANEL
PLAM	PLASTIC LAMINATE
PAWET TLE	PAWER TILE
PLAS	PLASTER
POL CONC	POLISHED CONCRETE
PORC T	PORCELAIN TILE
PT	PAINT
QT	QUARRY TILE
RAF	RAISED ACCESS FLOORING
RT	RUBBER TILE
RESIN FLR	RESINOUS FLOORING
RESL	RESILIENT
SGFT	STRUCTURAL GLAZED FACING TILE
SHT V	SHEET VINYL
SSM	SOLID SURFACE MATERIAL
ST STL	STAINLESS STEEL
STN	STAIN
TC	TRAFFIC COATING
TERR	TERRAZZO
VOCT	VINYL COMPOSITION TILE
VWC	VINYL WALLCOVERING
VEN PLAS	VENEER PLASTER
WD	WOOD

**GENERAL NOTES**

- \* REFER TO ABBREVIATIONS LIST FOR MATERIAL CODE DESCRIPTIONS
- A. "ROOM NUMBER AND ROOM NAME" CORRESPOND TO THE NUMBER AND NAMES INDICATED ON THE SHEETS
- B. "MATERIAL/FINISH" INDICATE THE SPECIFIC MATERIALS AND FINISHES TO BE USED TO CONSTRUCT AND FINISH THE FLOORS, BASE, WALLS AND CEILINGS
- C. "CC" INDICATES THE COLOR CODE FOR EACH MATERIAL AND/OR FINISH, REFER TO "COLOR CODES"
- D. "REMARKS" INDICATES ANY SPECIAL REQUIREMENTS FOR THE MATERIAL AND FINISH IN A ROOM - SEE "ROOM FINISH SCHEDULE REMARKS"
- E. "CEILING" IS THE MATERIAL AND FINISH AT THE UNDERSIDE OF THE FLOOR OR ROOF ABOVE. "SOFFIT" IS THE MATERIAL AND FINISH AT THE UNDERSIDE OF THE STAIR RUN.
- F. REFER TO 1 A2.1 FOR FLOOR TILE PATTERNS AND MATERIALS.
- G. REFER TO A8 SERIES FOR INTERIOR ELEVATIONS.
- H. "E" PREFIX TO THE "PT" CODE REFER TO EPOXY PAINT MATERIAL (E-PT-XX)

**REMARKS**

- ROOM FINISH SCHEDULE**
- 75% FT-01, 25% FT-03 IN RANDOM MIXED INSTALLATION
  - GROUT AT FLOOR TILE TO BE TEC ACCUCOLOR EFX, COLOR: 834 SLATE GRAY. GROUT AT WALL TILE TO BE TEC ACCUCOLOR EFX, COLOR: 949 SILVERADO. TRANSITION AT CERAMIC FLOOR TILE TO BE MARBLE THRESHOLD, STRAIGHT GRID INSTALLATION.
  - ROLLER SHADES SC-01 TO RUN FULL LENGTH OF GLAZING OPENING, VF - FOR OPENING SIZE.
  - TACKBOARD MATERIAL TK-02
  - PLASTIC LAMINATE PL-03, SOLID SURFACE SS-04
  - SOLID SURFACE MATERIAL AT WINDOW SILLS IS SS-03
  - TRANSITION AT CARPET TO LINOLEUM OR CARPET TO EXISTING TO BE SCHLUTER RENO U AEU 100 IN SATIN ANODIZED ALUMINUM
  - TOUCH UP PAINT REQUIRED. PATCH/REPAIR/PAINT ALL LOCATIONS WHERE WALL MOUNTED ITEMS ARE REMOVED, INCLUDING BUT NOT LIMITED TO CLOCKS, ALARMS, WIREWAYS, ETC. OR WHERE SELECTIVE DEMOLITION OCCURS - COORDINATE EXTENTS WITH DEMO AND NEW WORK.
  - PLASTIC LAMINATE PL-01, SOLID SURFACE SS-02
  - PT-01 AND B-04 AT NEW WALL
  - NEW FLOORING, BASE, AND PAINT OCCURS ONLY IN AREAS WHERE NEW CONSTRUCTION OCCURS
  - TZ-01 AND B-04 AT TERRAZZO FLOORING AND WALL BASE REPAIRS; REFER TO 111.A0.1 FIRST FLOOR COMPOSITE PLAN - TYLER ELEMENTARY
  - TZ-01 AND B-04 AT TERRAZZO FLOORING AND WALL BASE REPAIRS; REFER TO 211.A0.1 FIRST FLOOR COMPOSITE PLAN - SAVAGE ELEMENTARY

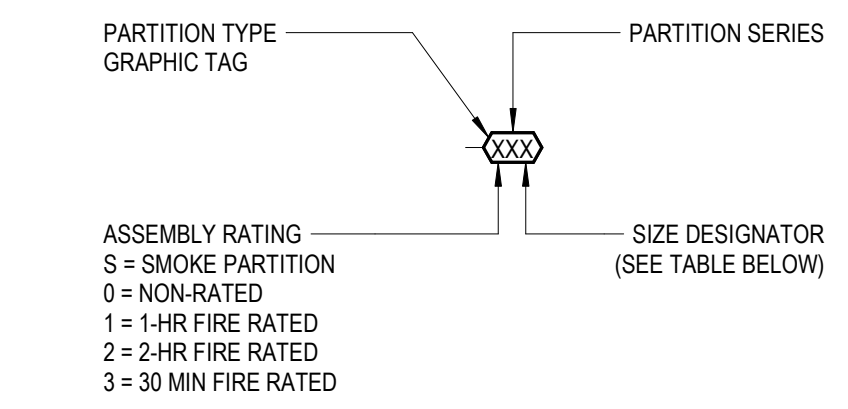
Project Administrator	
A. Maurer	
Project Designer	
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B. Sundberg	
Drawing Scale	
As Noted	
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Design Development	06-24-2024
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## GENERAL NOTES

### INTERIOR PARTITIONS

- "WALL" AND "PARTITION" ARE USED TO DENOTE EITHER WALLS OR PARTITIONS INTERCHANGEABLY.
- REFER TO SHEET AR-0 - ARCHITECTURAL REFERENCE INFORMATION FOR ABBREVIATIONS, SYMBOLS, AND GRAPHIC INDICATIONS.
- REFER TO COMPOSITE LIFE SAFETY PLANS FOR PARTITION FIRE RATINGS.
- REFER TO ROOM FINISH SCHEDULE FOR WALL FINISHES AND WALL BASE.



MATERIAL	DESIGNATION SIZE	ACTUAL SIZE	SPACING
MASONRY	4	3.58"	N/A
	6	5.58"	
	8	7.58"	
	12	11.58"	
STEEL STUDS	1	1.58"	16" OC
	2	2.12"	
	3	3.58"	
	4	4"	
	6	6"	
FLOORING	0	7/8"	16" OC
	1	1.58"	
	2	2.12"	
SHAFTWALL C-H STUDS	2	2.12"	24" OC
	4	4"	
	6	6"	

- SUBSTITUTE 09 2900 - TILE BACKING BOARD AT LOCATIONS TO RECEIVE A TILE WALL FINISH.
- ALL NON-LOAD BEARING METAL WALL FRAMING SHALL BE BASED ON TOTAL STUD HEIGHT. REFER TO SPECIFICATION SECTIONS 05 4000 - COLD-FORMED METAL FRAMING; 09 2116 - GYPSUM BOARD SHEET WALL ASSEMBLIES AND 09 2216 - NON-STRUCTURAL METAL FRAMING FOR ADDITIONAL REQUIREMENTS.
- WHERE ROOMS WITH DIFFERENT PARTITION REQUIREMENTS ARE ADJACENT, THE PARTITION WITH THE GREATER FIRE-RATING AND/OR STC SHALL BE USED BETWEEN THEM.
- AT INTERSECTIONS OF DIS-SIMILAR PARTITION TYPES, THE HIGHEST RATED PARTITION IS TO RUN THROUGH THE INTERSECTION TO MAINTAIN ENCLOSURE. MAINTAIN RATING OF RATED PARTITION AT INTERSECTION WITH COLUMN ENCLOSURES BY EXTENDING RATED CLOSURE AS REQUIRED.
- FIRE-RATED PARTITIONS SHALL BE CONSTRUCTED ACCORDING TO THE FIRE TEST INDICATED. NO SUBSTITUTIONS OF MATERIALS OR DEVIATIONS FROM CONSTRUCTION ARE ALLOWED. ADDITIONAL LAYERS MAY BE REQUIRED FOR ACOUSTICAL OR OTHER REASONS AND MUST BE EXECUTED AS SHOWN.
- STC RATINGS ARE MINIMUM ACOUSTICAL PERFORMANCE REQUIREMENT. SPECIFIC ACOUSTICAL TESTS ARE GIVEN FOR REFERENCE ONLY. SOUND ATTENUATION BLANKET THICKNESS SHALL BE AS FOLLOWS:
  - 1 1/2" FOR PARTITIONS WITH 1.58" AND 2.12" STUDS (INCLUDING SHAFTWALLS).
  - 3" FOR PARTITIONS WITH 3.58", 4" OR 6" STUDS.
  - 3" FOR SHAFTWALLS WITH 4" OR 6" STUDS UNO.
  - AS REQUIRED FOR FIRE RATING.
- DETAILS ARE DIAGRAMMATIC - PRECISE REQUIREMENTS OF TESTS ASSEMBLIES SHALL GOVERN.

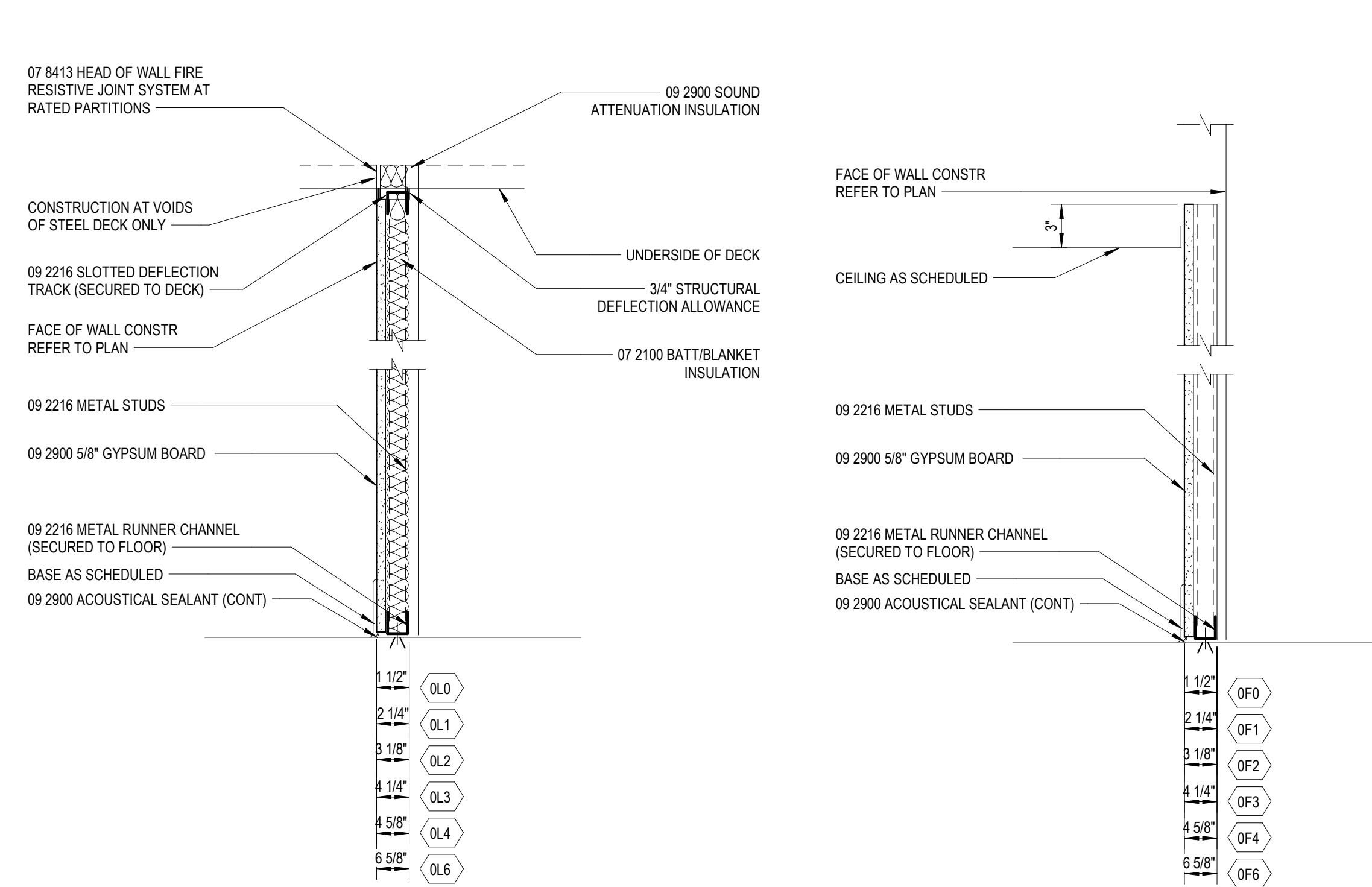
Project Title



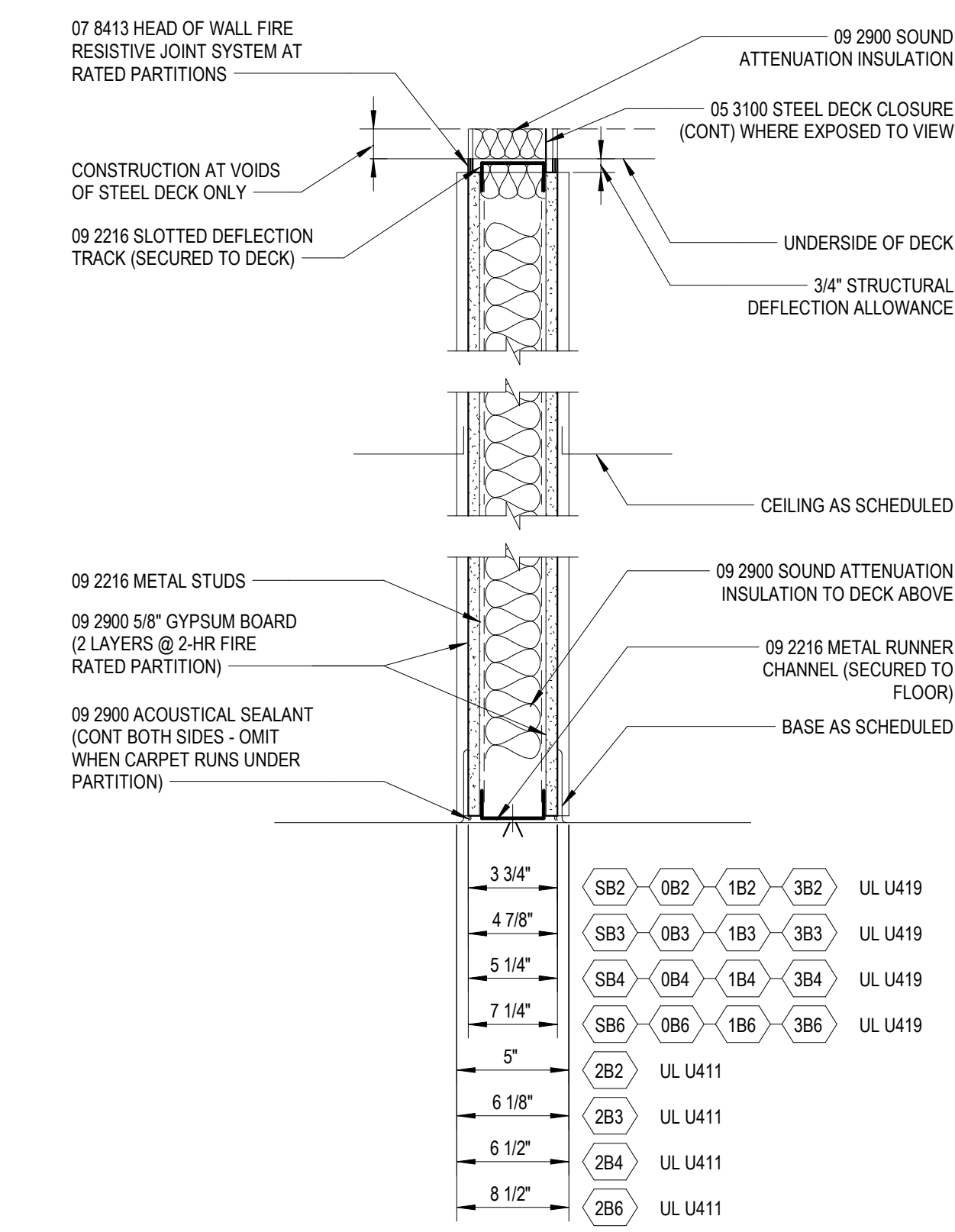
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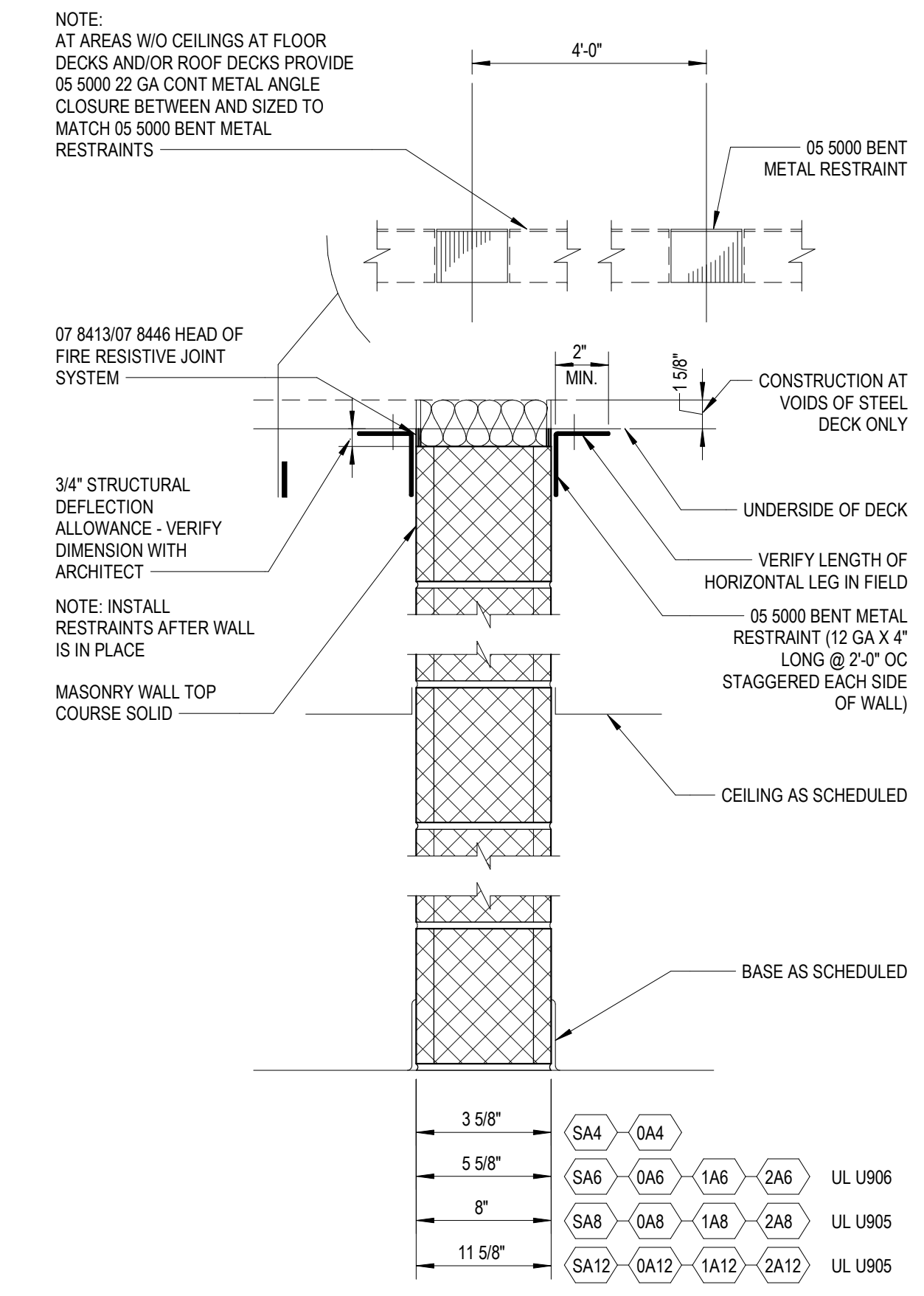
Key Plan



PARTITION SERIES 'L'

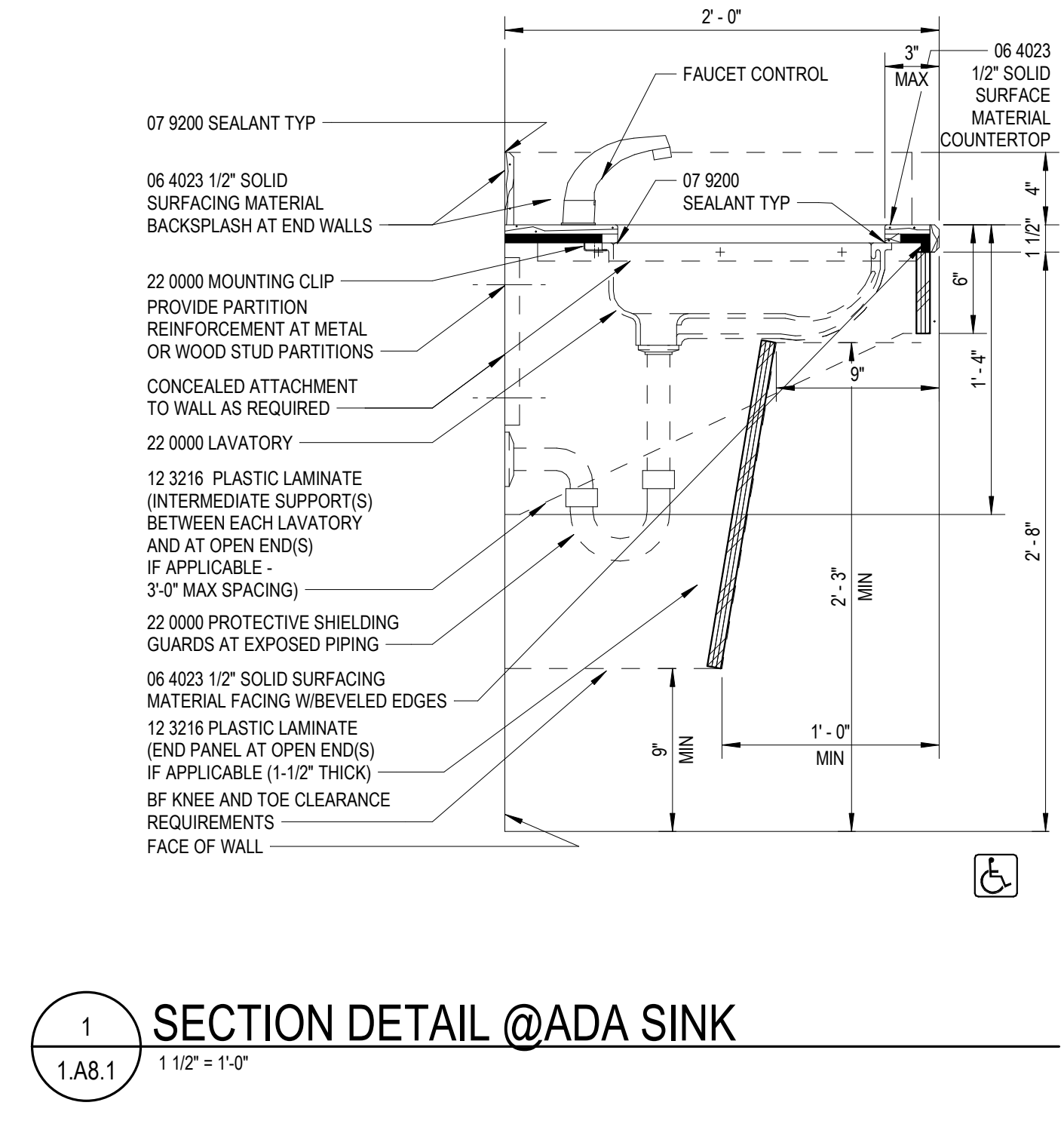
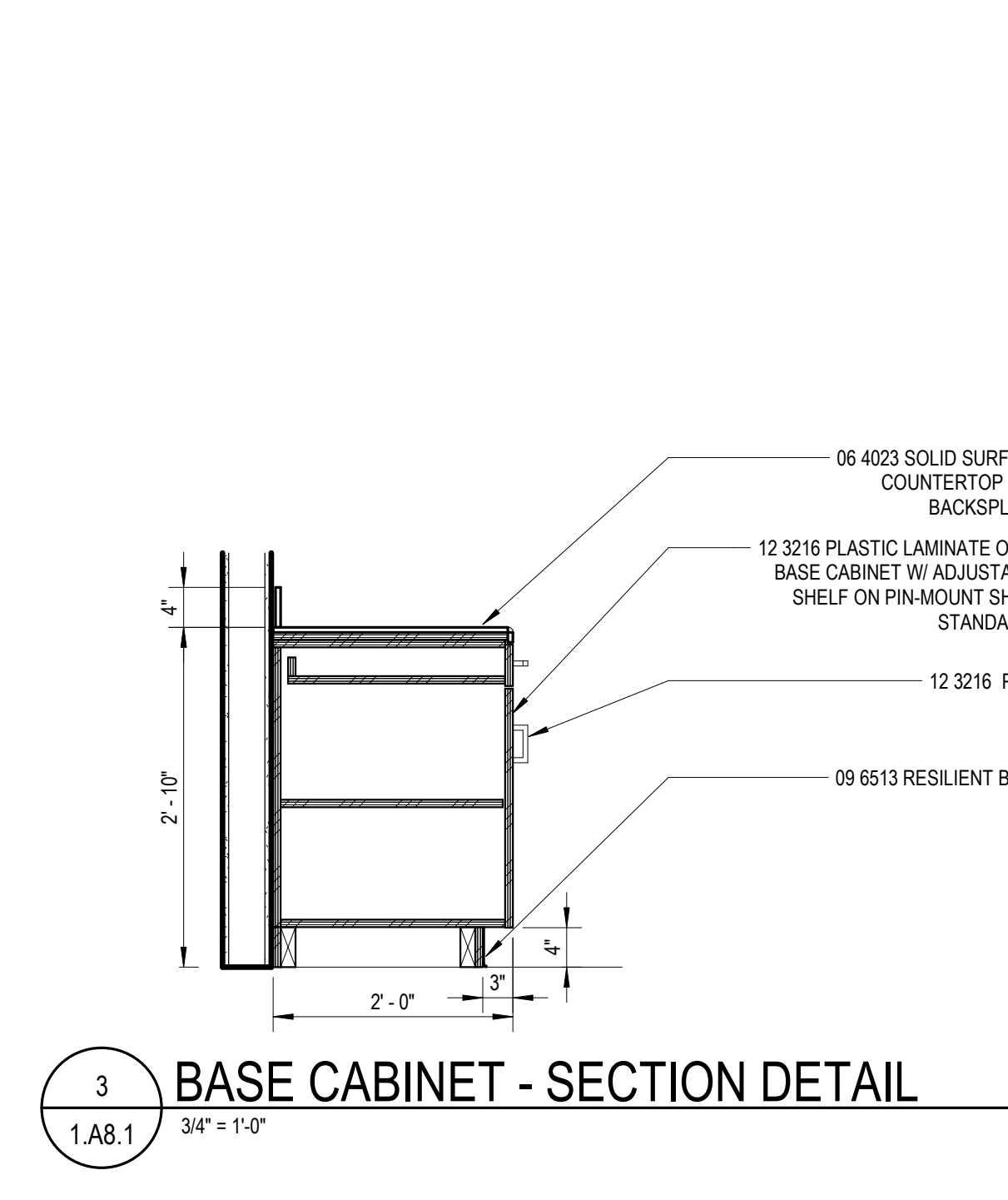
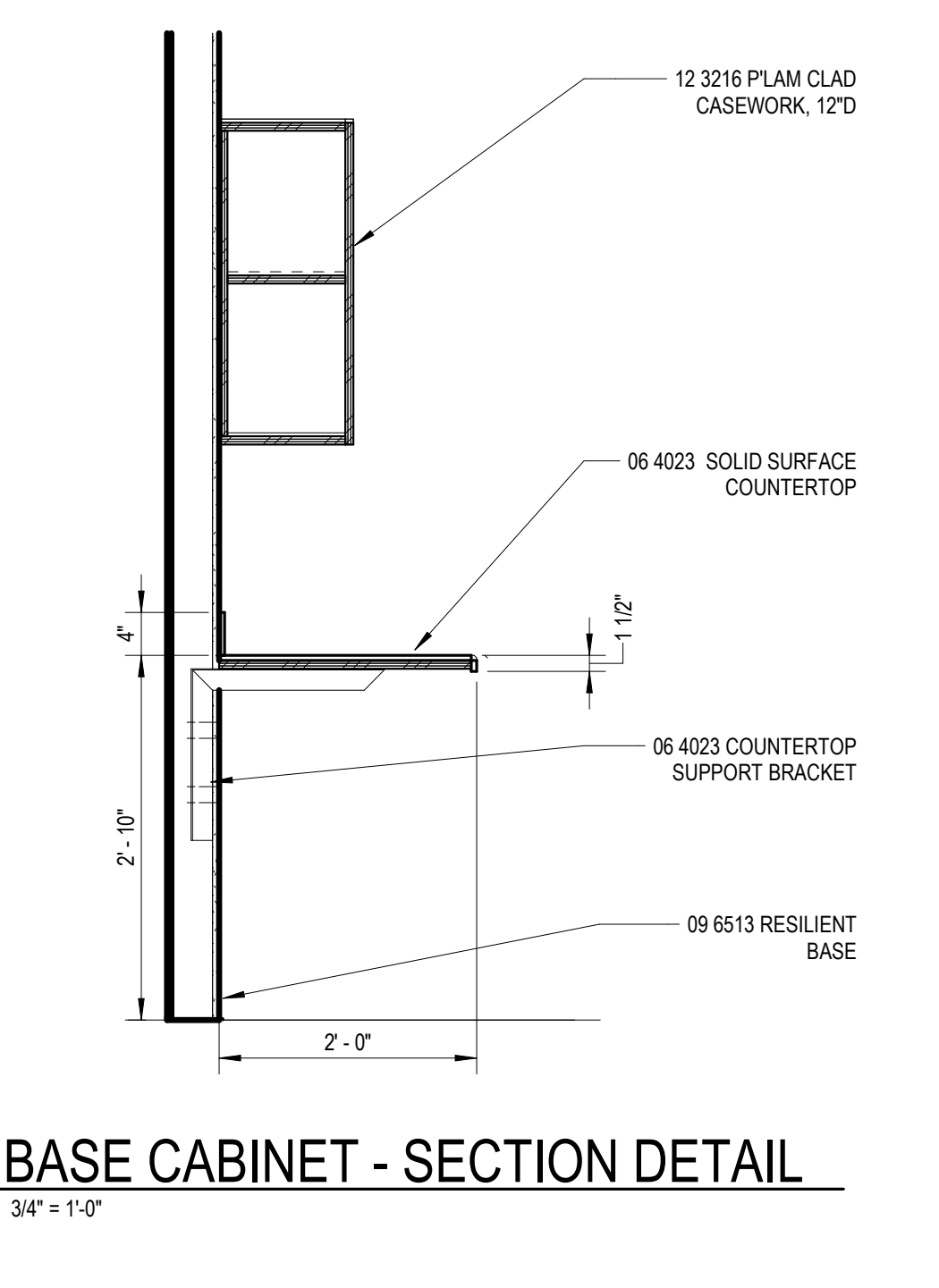
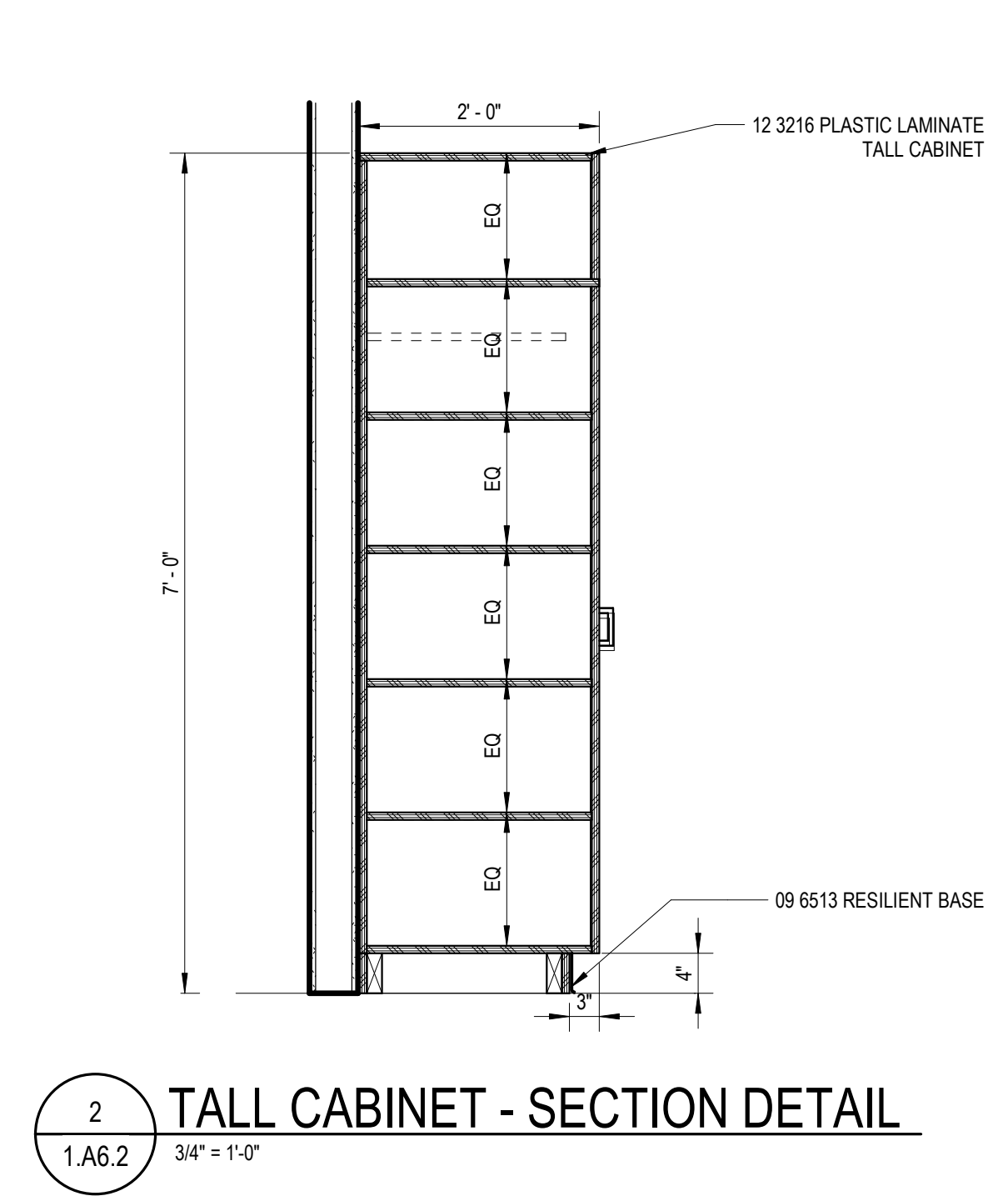
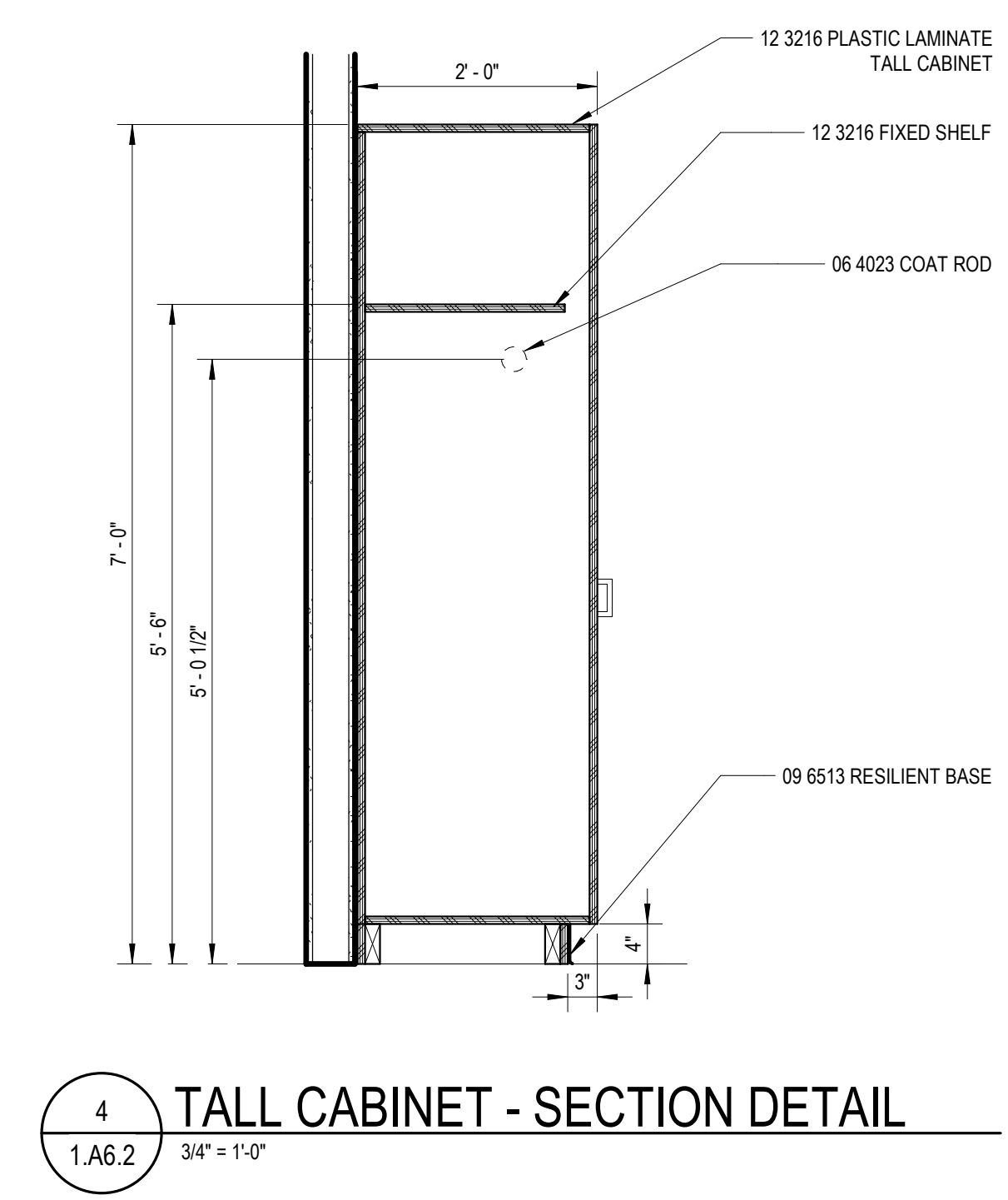
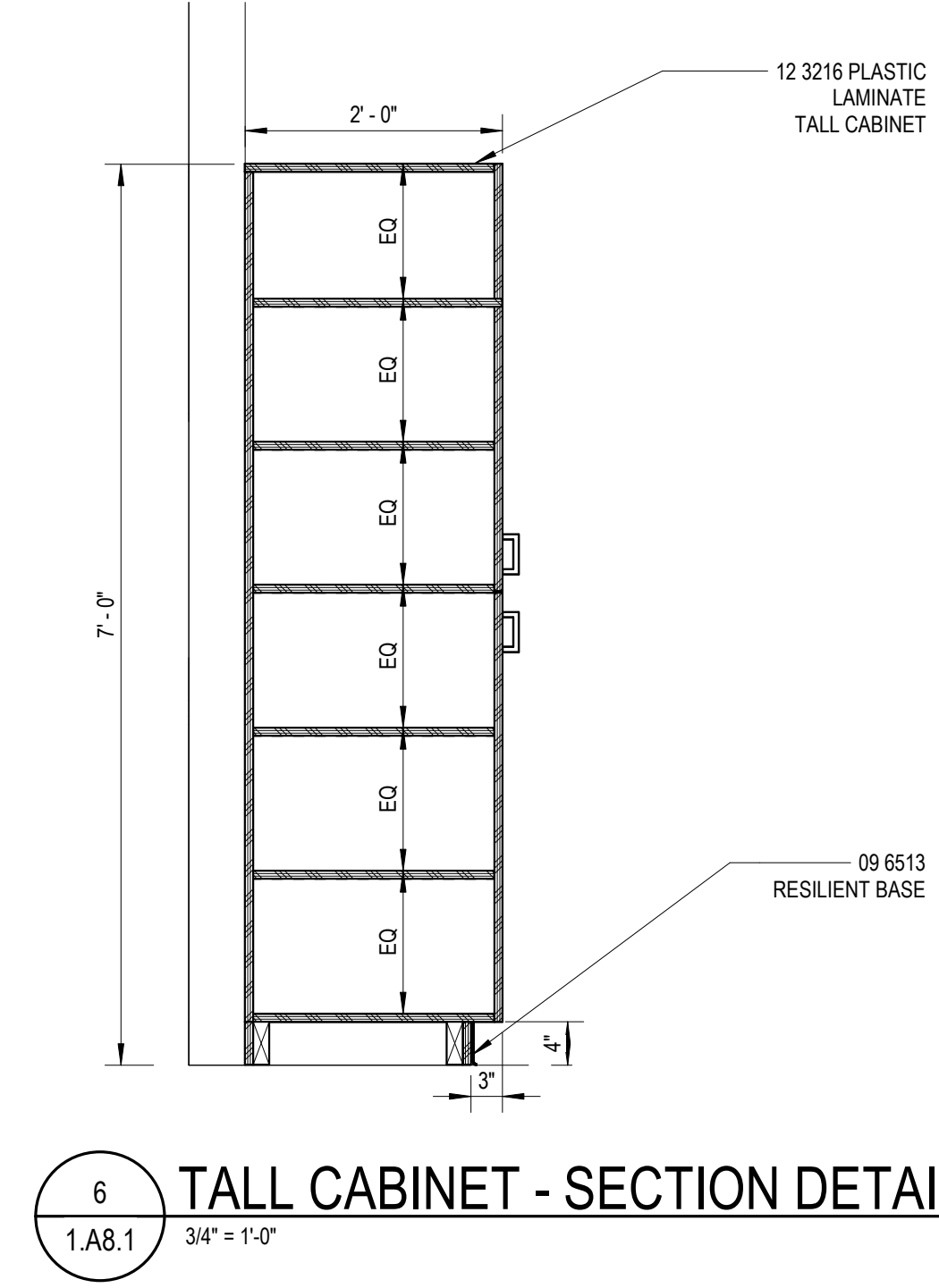


PARTITION SERIES 'B'



PARTITION SERIES 'A'

Project Administrator	A. Maurer
Project Designer	A. Pfeiffer
Project Architect / Engineer	C. King
Drawn By	A. Pfeiffer
Q.M. Review	N. LaForest
Approved	B. Sundberg
Drawing Scale	As Noted
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Project Administrator	A. Maurer
Project Designer	A. Pfeiffer
Project Architect / Engineer	C. King
Drawn By	D. Sandle
Q.M. Review	N. LaForest
Approved	B. Sundberg
As Noted	
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**GENERAL NOTES**

- FURNITURE FIXTURE AND EQUIPMENT PLAN**
- A. ITEMS SHOWN IN GRAYSCALE ARE FOR REFERENCE ONLY.
  - B. COORDINATE THE INTERFACING OF ALL TRADES WITH RESPECT TO DELIVERY AND INSTALLATION OF ALL FURNITURE, FIXTURES AND EQUIPMENT.
  - C. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE INSTALLATION. CONSULT ARCHITECT WHEN ACTUAL FIELD CONDITIONS VARY FROM THOSE SHOWN ON CONSTRUCTION DOCUMENTS.
  - D. COORDINATE LOCATIONS OF ALL REQUIRED UTILITIES WITH THE TRADE PROVIDING THE SAME. REFER TO MECHANICAL AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.



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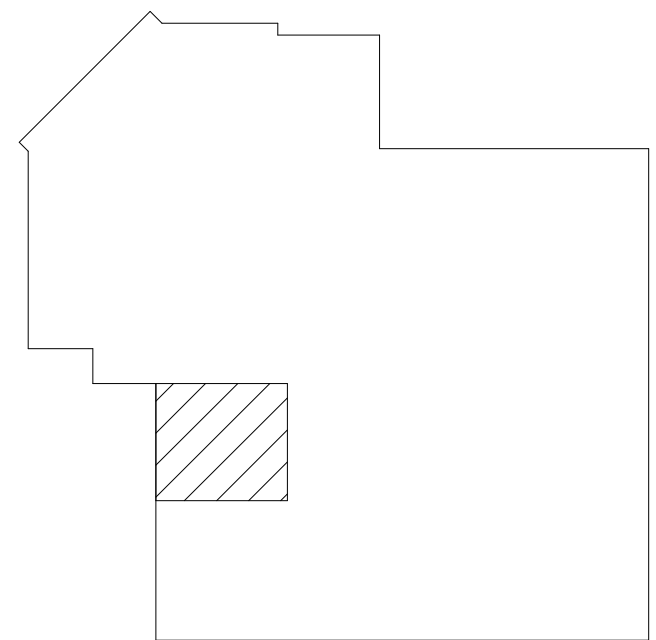
Project Title



Van Buren Public Schools

**Savage & Tyler Elementary  
Schools Secured Entry  
Renovations**

Key Plan

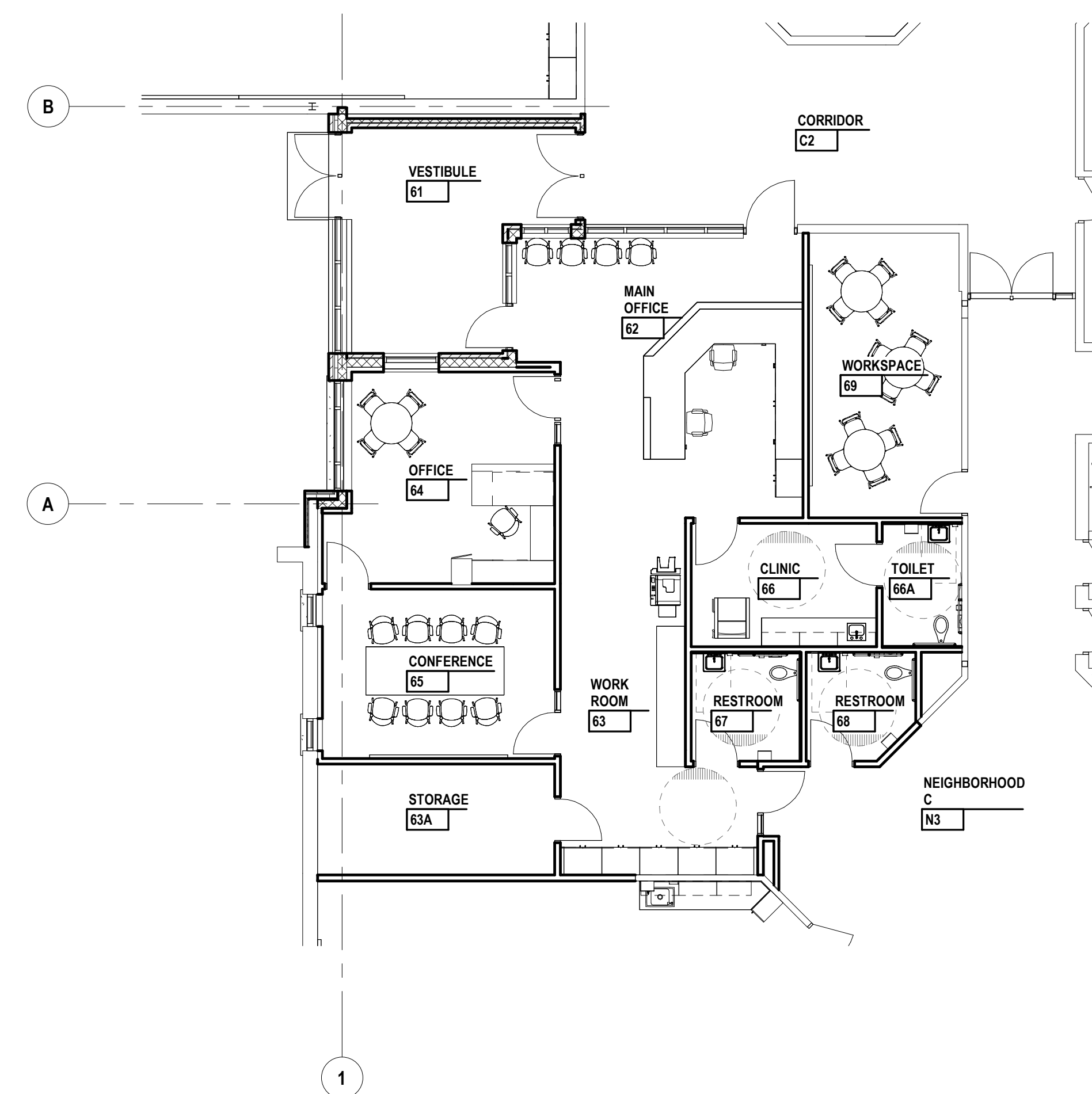


Project Administrator  
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C. King  
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D. Sandle  
Q.M. Review  
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B. Sundberg  
Drawing Scale  
1/8" = 1' - 0"

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Design Development	06-24-2024
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IDS Drawing Title

First Floor Furniture Plan



For Reference Only

108 Project Number Drawing Number

20111-3008

1.F.2.1



# ABBREVIATIONS

**A**  
 AVV AIR ADMITTANCE VALVE  
 AC AIR COMPRESSOR  
 ACCU AIR COOLED CONDENSING UNIT  
 AD ACCESS DOOR  
 AE AIR EXTRACTOR  
 AFF ABOVE FINISHED FLOOR  
 AFT AIR FLOW TRANSMITTER  
 AHU AIR HANDLING UNIT  
 APD AIR PRESSURE DROP  
 AL ACTIVE LENGTH  
 APPROX APPROXIMATELY  
 ARCH ARCHITECTURAL  
 ASR AUTOMATIC SPRINKLER RISER

**B**  
 BAS BUILDING AUTOMATION SYSTEM  
 BBD BOILER BLOWDOWN  
 BF BARRIER FREE  
 BFP BOILER FEEDWATER PUMP  
 BHP BRAKE HORSEPOWER  
 BP BACKFLOW PREVENTER  
 BTU BRITISH THERMAL UNIT  
 BWV BACKWATER VALVE

**C**  
 CAP CAPACITY  
 CC COILING COIL  
 CD COLD DECK  
 CFM CUBIC FEET PER HOUR  
 CFM CUBIC FEET PER MINUTE  
 CI CAST IRON  
 CLG CEILING  
 CO CLEANOUT  
 COND CONDENSATE (COOLING)  
 CONN CONNECTION  
 CONT CONTINUATION  
 CONTR CONTRACTOR  
 CONV CONNECTOR  
 CPU CENTRAL PROCESSING UNIT  
 CR CONDENSATE RETURN (STEAM)  
 CT COOLING TOWER  
 CUH CABINET UNIT HEATER  
 CV CONTROL VALVE  
 CW COLD WATER

**D**  
 DB DRY BULB  
 DDC DIRECT DIGITAL CONTROL  
 DEG DEGREES  
 DN DOWN  
 DNH DAY/NIGHT  
 DPR DAMPER  
 DRT ABOVE FINISHED FLOOR  
 DTC DRAIN TILE CONNECTION  
 DX DIRECT EXPANSION

**E**  
 EA EXHAUST AIR  
 EAT ENTERING AIR TEMPERATURE  
 EDB ENTERING DRY BULB  
 EF EXHAUST FAN  
 EG EXHAUST GRILLE  
 EHC ELECTRIC HEATING COIL  
 EH ELECTRIC INFRARED HEATER  
 EJ EXPANSION JOINT  
 ELEV ELEVATION  
 ELEC ELECTRICAL  
 EMCS ENERGY MONITORING AND CONTROL SYSTEM  
 ENT ENTERING  
 ER EXHAUST REGISTER  
 ERU ENERGY RECOVERY UNIT  
 ES EMERGENCY SHOWER  
 ESP EXTERNAL STATIC PRESSURE  
 ET EXPANSION TANK  
 EWB ENTERING WET BULB  
 EWC ELECTRIC WATER COOLER  
 EWT ENTERING WATER TEMPERATURE  
 EXH EXHAUST  
 (E) EXISTING  
 EXP EXPANSION

**F**  
 FA FARENHEIT  
 F BA FACE AREA  
 FCU FACE AND BYPASS DAMPER  
 FCO FLOOR CLEANOUT  
 FD FLOOR DRAIN  
 FDC FIRE DEPARTMENT CONNECTION

**G**  
 GA GAGE/GAUGE  
 GALV GALVANIZED  
 GPM GALLONS PER MINUTE  
 GPH GALLONS PER HOUR  
 GR GRILLE  
 GV GATE VALVE

**H**  
 HUMID HUMIDIFIER  
 HB HOSE BIBB  
 HD HOT DECK  
 HO HOT OUTLET  
 HOA HAND-OFF-AUTO  
 HP HORSEPOWER  
 HP STM HIGH PRESSURE STEAM  
 HV HEATING AND VENTILATION UNIT  
 HVAC HEATING, VENTILATION & AIR CONDITIONING

**I**  
 ID INSIDE DIAMETER  
 IVE INVERT ELEVATION  
 IW INDIRECT WASTE

**J**  
 JND JUNCTION BOX

**K**  
 KND KITCHEN CUPBOARD

**L**  
 LAT LEAVING AIR TEMPERATURE  
 LAW LAVATORY  
 LBS/LHR POUNDS PER HOUR  
 LD LINEAR DIFFUSER  
 LF LIGHTING PANEL  
 LRA LOOKED ROTOR AMPS  
 LWT LEAVING WATER TEMPERATURE

**M**  
 MAT MANUAL AIR VENT  
 MAV MAXIMUM  
 MBH THOUSAND BRITISH THERMAL UNITS PER HOUR  
 MCC MOTOR CONTROL CENTER  
 MECH MECHANICAL  
 MFR MANUFACTURER  
 MGIV MASTER GAS VALVE  
 MH MAN HOLE  
 MIN MINIMUM  
 MS MOTOR STARTER  
 MZ MULTI-ZONE UNIT

**N**  
 NC NORMALLY CLOSED  
 NCR NOISE CRITERION  
 NIC NOT IN CONTRACT  
 NO NORMALLY OPEN  
 No NUMBER  
 MS NOT TO SCALE

**O**  
 OA OUTSIDE AIR  
 OAT OUTSIDE AIR TEMPERATURE  
 OD OUTSIDE DIAMETER  
 OED OPEN ENDED DUCT  
 OS&Y OUTSIDE SCREW AND YOKE  
 OV OUTLET VELOCITY

**P**  
 P PUMP  
 PA PIPE ANCHOR  
 PAC PACKED AIR CONDITIONING UNIT  
 PCR PUMPED CONDENSATE RETURN  
 PD PRESSURE DROP  
 PG PIPE GUIDE  
 PLBG PLUMBING  
 PSI POUNDS PER SQUARE INCH  
 PSI PRESSURE REDUCING VALVE  
 PVC POLYVINYL CHLORIDE PLASTIC

**R**  
 RA RETURN AIR  
 RAD RADIATOR  
 RAG RETURN AIR GRILLE  
 RCP RADIANT CEILING PANEL  
 RH RELATIVE HUMIDITY  
 RF RETURN FAN  
 RM ROOM  
 RPB/RP REDUCED PRESSURE BACKFLOW PREVENTER  
 RP RADIANT PANEL  
 RPM REVOLUTIONS PER MINUTE  
 RR RETURN REGISTER  
 RS ROOF SUMP  
 RTU ROOF TOP UNIT

**S**  
 SA SUPPLY AIR  
 SAG SUPPLY AIR GRILLE  
 SAN SANITARY  
 SAT SUPPLY AIR TEMPERATURE  
 SC STEAM COIL  
 SD SUPPLY DIFFUSER  
 SF SUPPLY FAN  
 SH SPRING HANGER  
 SHT SHEET  
 SP SUMP PUMP  
 SPECS SPECIFICATIONS  
 SP HD SPRINKLER HEAD  
 SPKR SPRINKLER  
 SS SERVICE SINK  
 SV SOLENOID VALVE  
 SWS SAFE WASTE SINK

**T**  
 TC TEMPERATURE CONTROL  
 TD TRENCH DRAIN  
 TE TURNING VANES  
 TW TEMPERED WATER  
 TYP TYPICAL

**U**  
 UH UNIT HEATER  
 UL UNDERWRITERS LABORATORY  
 UR URINAL  
 UV UNIT VENTILATOR

**V**  
 V VAV  
 VD VOLUME DAMPER  
 VI VIBRATION ISOLATOR  
 VRF VARIABLE REFRIGERANT FLOW  
 VST VENT STACK  
 VTR VENT THROUGH ROOF

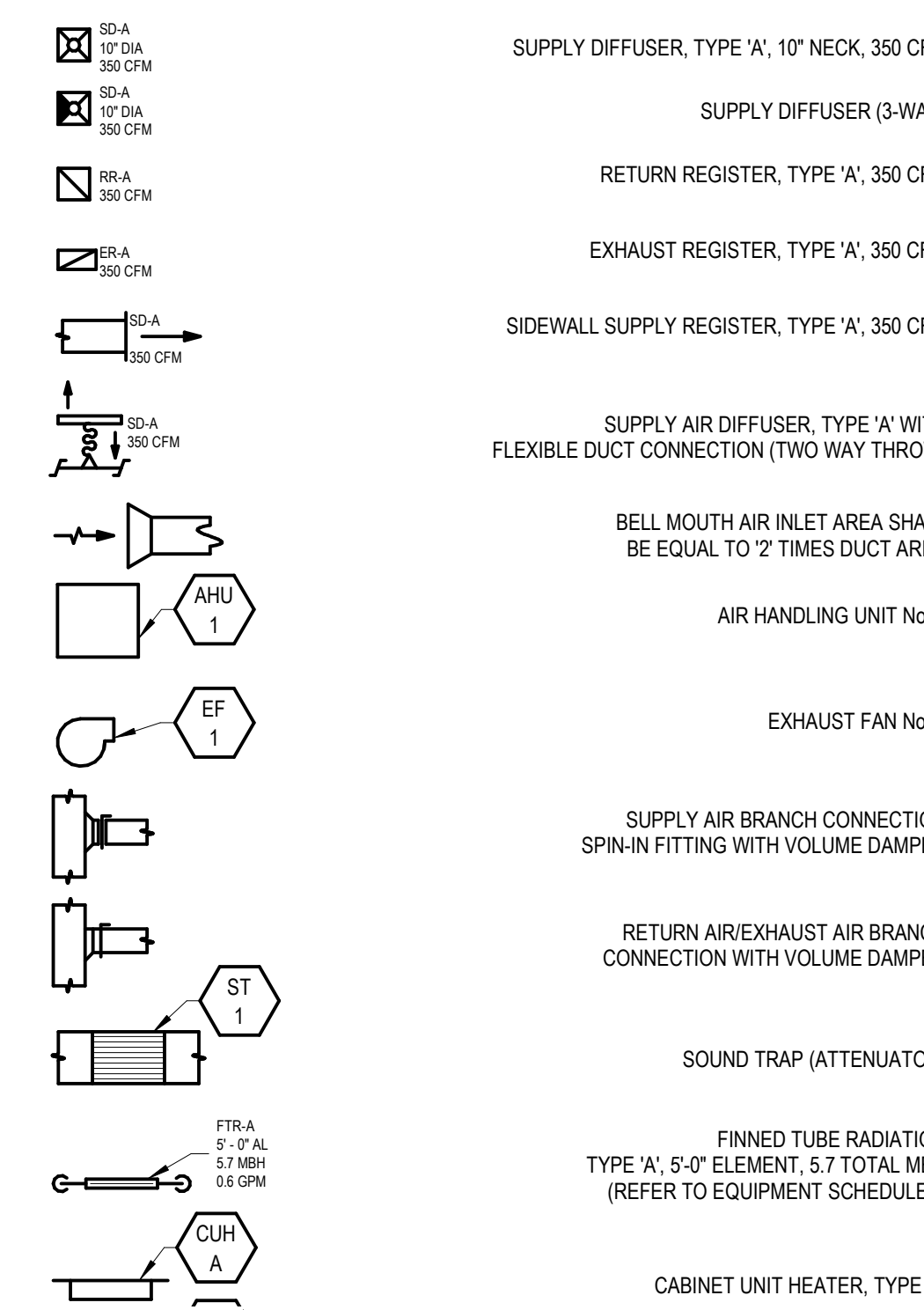
**W**  
 W WASTE  
 WAV WASTE AND VENT  
 WB WET BULB  
 WC WATER CLOSET  
 WOOD WALL CLEANOUT  
 WG WATER GAUGE  
 WH WALL HYDRANT (FREEZE PROTECTED)  
 WS WASTE STACK

**X**  
 XND X-RAY

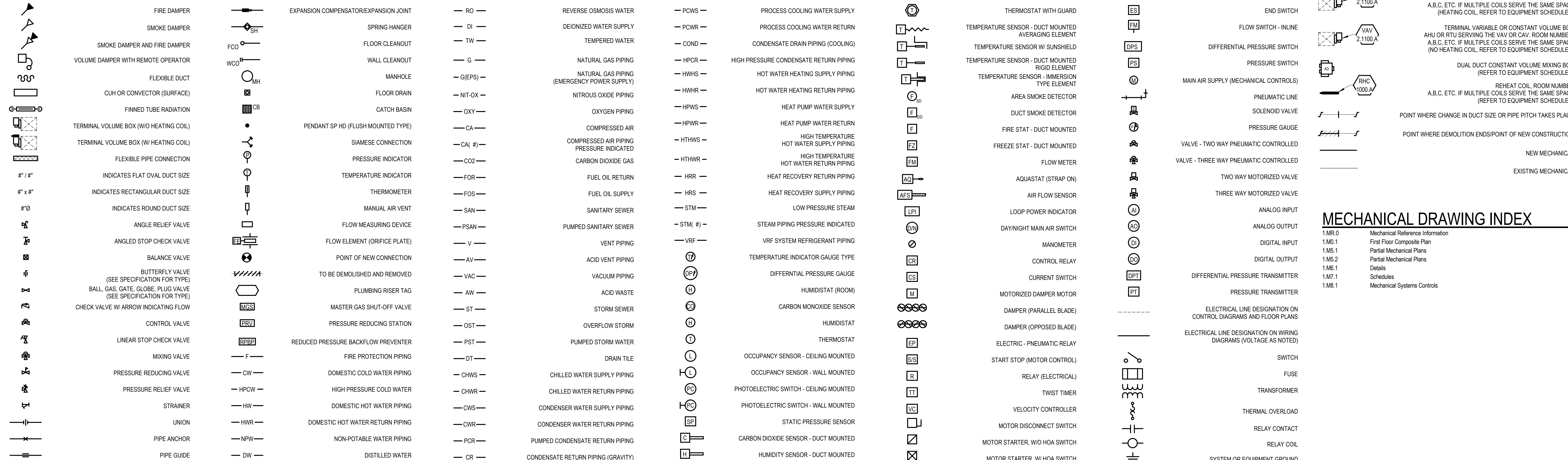
**Y**  
 YND YARD

**Z**  
 ZND ZONE

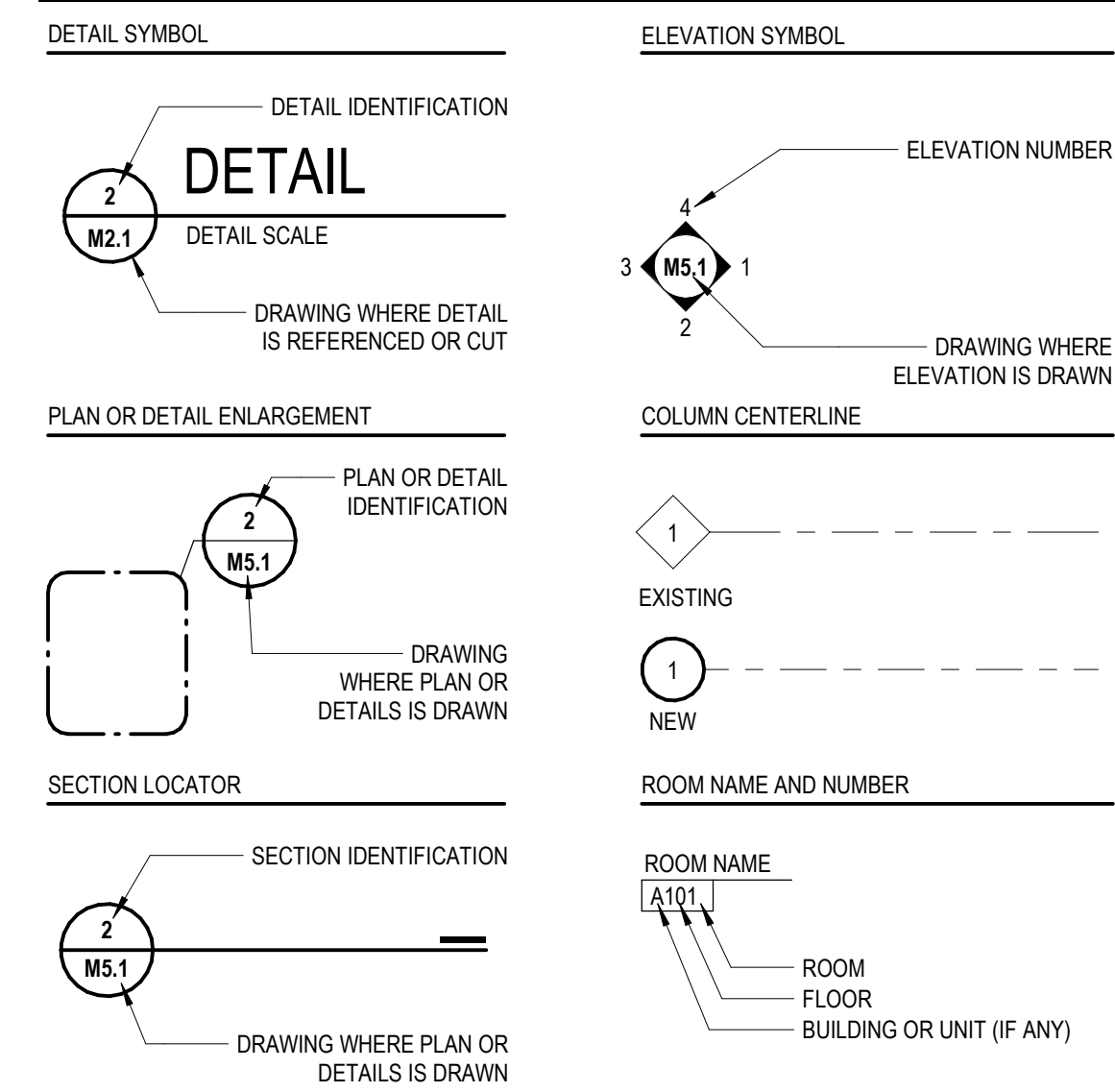
# NOTATION METHODS



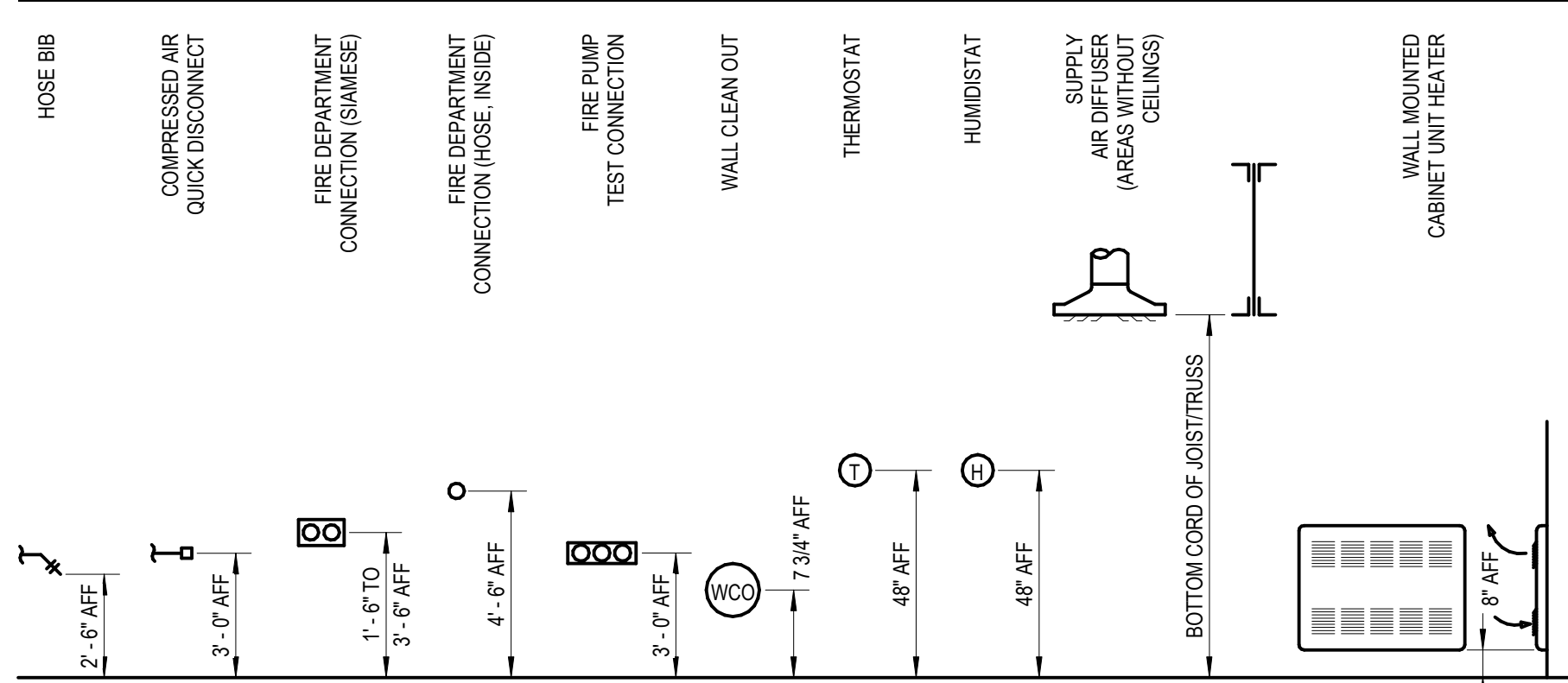
# SYMBOLS



# SYMBOL LEGEND



# MOUNTING HEIGHTS



# GENERAL NOTES

1. VERIFY ALL CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
2. COORDINATE ALL WORK WITH APPROPRIATE TRADES.
3. COORDINATE ANY REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH OWNER'S REPRESENTATIVE.
4. PROVIDE ALL MISC. STEEL AND ITEMS REQUIRED FOR THE PROPER INSTALLATION OF ALL PIPE, SHEET METAL AND EQUIPMENT.
5. COORDINATE FLOOR, WALL & ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES.
6. INSTALL ALL DUCTWORK AS HIGH AS POSSIBLE IN AREA WITHOUT A CEILING UNLESS INDICATED OTHERWISE.
7. DUCT CONNECTED TO EQUIPMENT SHALL EQUAL EQUIPMENT CONNECTION SIZE UNLESS NOTED OTHERWISE.
8. MAXIMUM LENGTH ON FLEXIBLE DUCT SHALL BE 5'-0".
9. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT DIFFUSER LOCATIONS IN AREAS WITH A CEILING.
10. DO NOT RUN ANY PIPING OR DUCTWORK INTO AN ELECTRICAL ROOM THAT DOES NOT SERVE THAT ROOM.



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Project Title  
  
 Van Buren Public Schools  
**Savage & Tyler Elementary Schools Secured Entry Renovations**  
 Key Plan

### MECHANICAL DRAWING INDEX

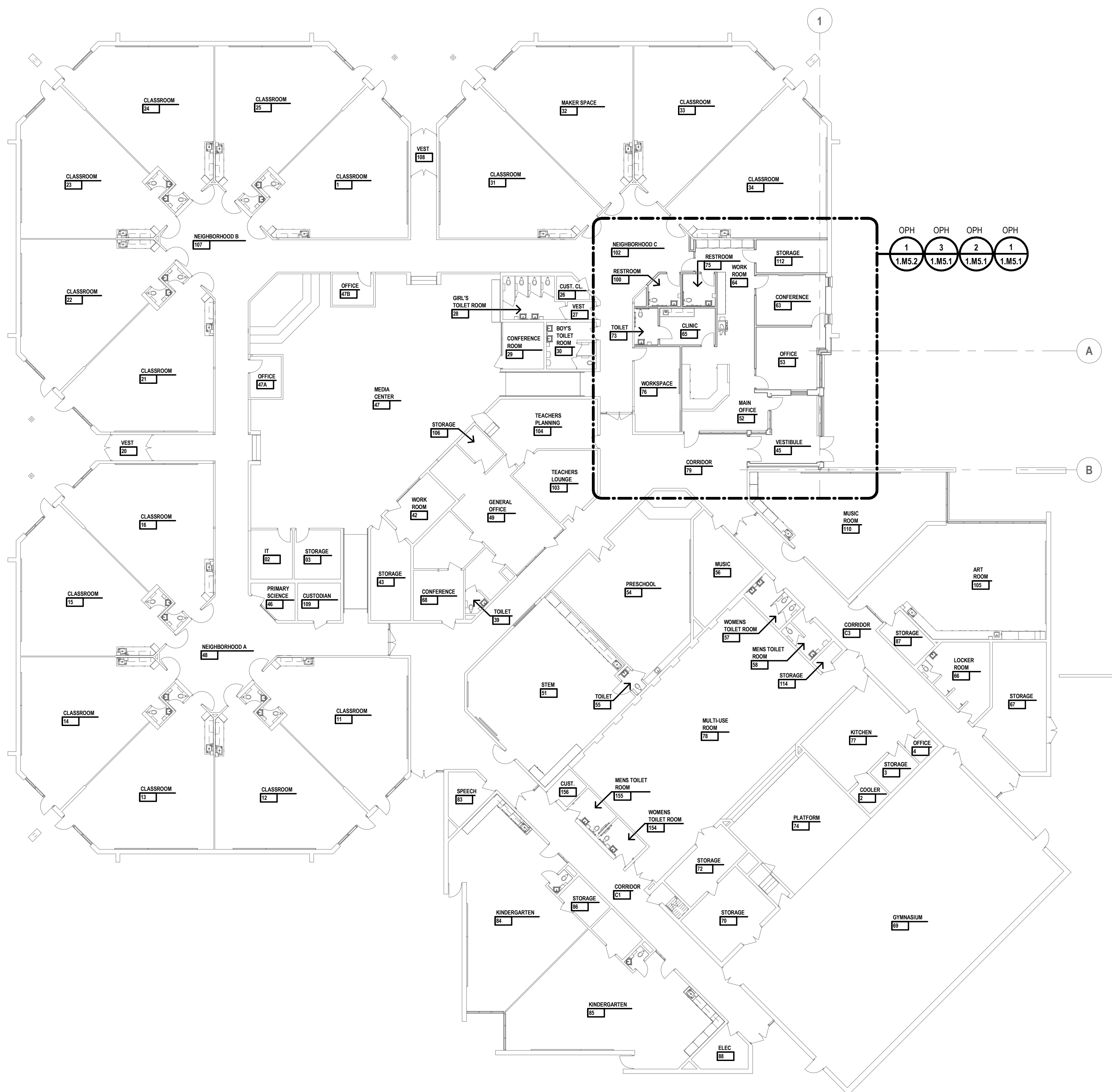
1.MR.0	Mechanical Reference Information
1.MS.1	First Floor Composite Plan
1.MS.2	Partial Mechanical Plans
1.MS.2	Partial Mechanical Plans
1.MS.1	Details
1.M7.1	Schedules
1.MS.1	Mechanical Systems Controls

THIS PROJECT MAY NOT UTILIZE ALL THE SYMBOLS, MATERIALS, ABBREVIATIONS AND STANDARD INFORMATION SHOWN ON THIS SHEET.

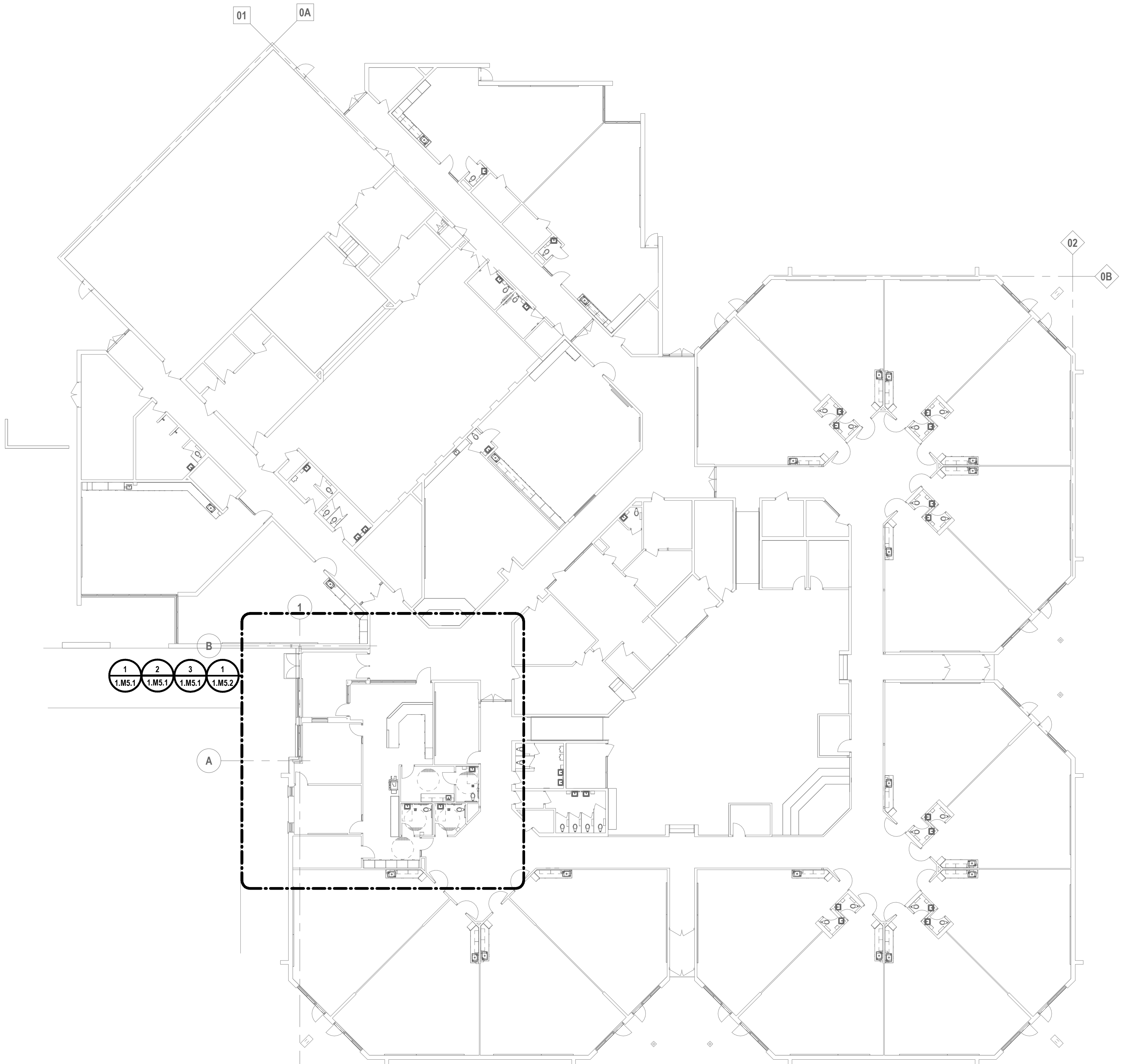
Project Administrator	A. Maurer
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Project Architect / Engineer	N. Moeggenborg
Drawn By	N. Moeggenborg
Q.M. Review	T. Verduyssen
Approved	J. Schwartz
Drawing Scale	None
Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024



## Savage & Tyler Elementary Schools Secured Entry Renovations



3 1.FIRST FLOOR COMPOSITE PLAN - SAVAGE ELEMENTARY  
1/16" = 1'-0"



1 1.FIRST FLOOR COMPOSITE PLAN - TYLER ELEMENTARY  
1/16" = 1'-0"

Project Administrator	A. Maurer
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Drawing Scale	As Noted
Issued for	Issue Date
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## KEYNOTES

DEMOLITION  
 NOTE: NOT ALL KEYNOTES MAY BE USED

- ① LEGEND SYMBOL INDICATOR
- D1 REMOVE SUPPLY/RETURN DUCTWORK AND ASSOCIATED GRILLES, REGISTERS, AND DIFFUSERS.
- D2 REMOVE HOT WATER HEATING COIL, ASSOCIATED HEATING HOT WATER SUPPLY AND RETURN PIPING, AND CONTROLS.
- D3 REMOVE CABINET UNIT HEATER AND ASSOCIATED HEATING HOT WATER SUPPLY AND RETURN PIPING.
- D4 REMOVE PLUMBING FIXTURE SANITARY, HOT WATER, AND COLD WATER PIPING.
- D5 REMOVE COLD WATER PIPING AND WALL HYDRANT.

## KEYNOTES

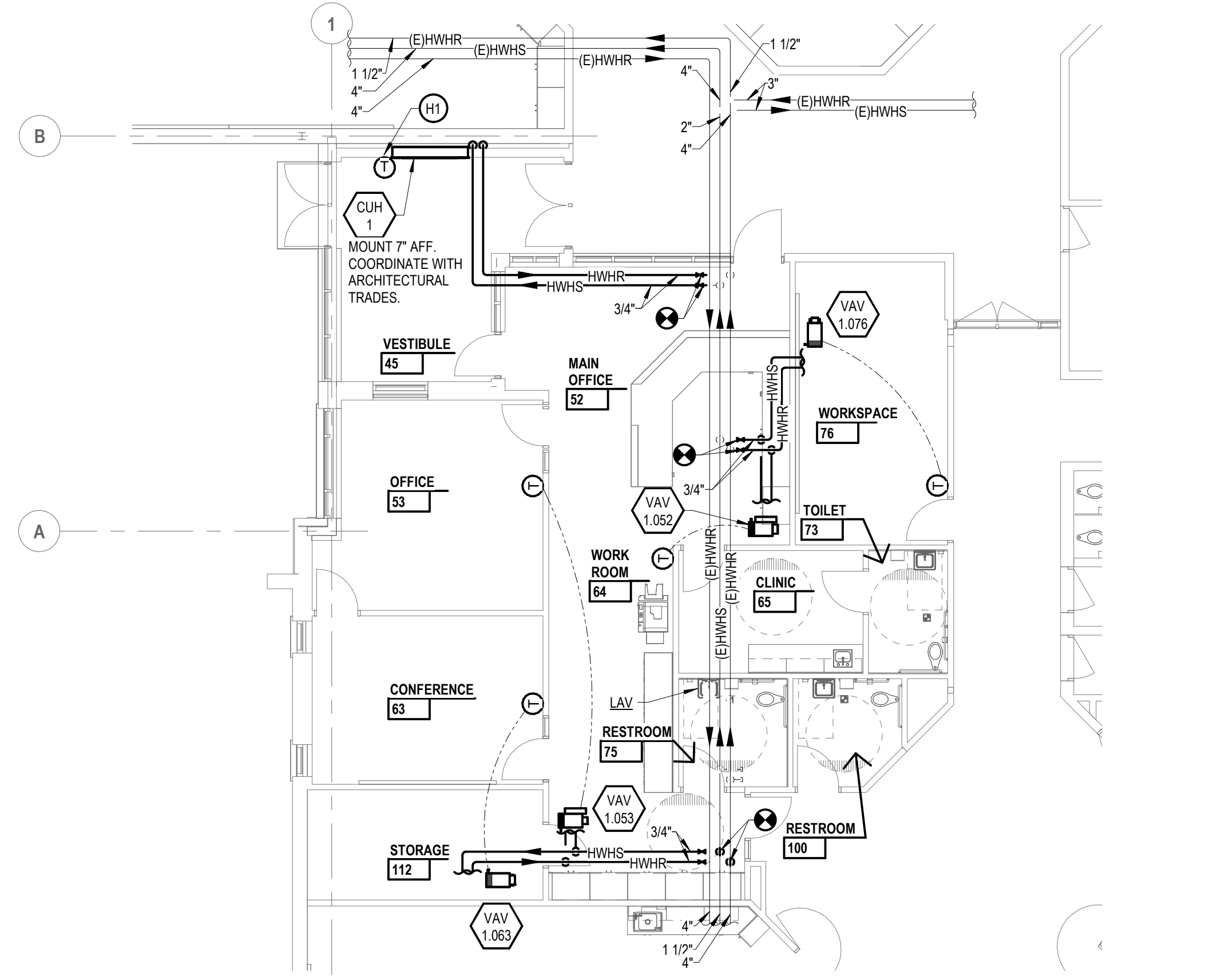
SHEET METAL  
 NOTE: NOT ALL KEYNOTES MAY BE USED

- ② LEGEND SYMBOL INDICATOR
- S1 BALANCE TO AIRFLOW INDICATED.

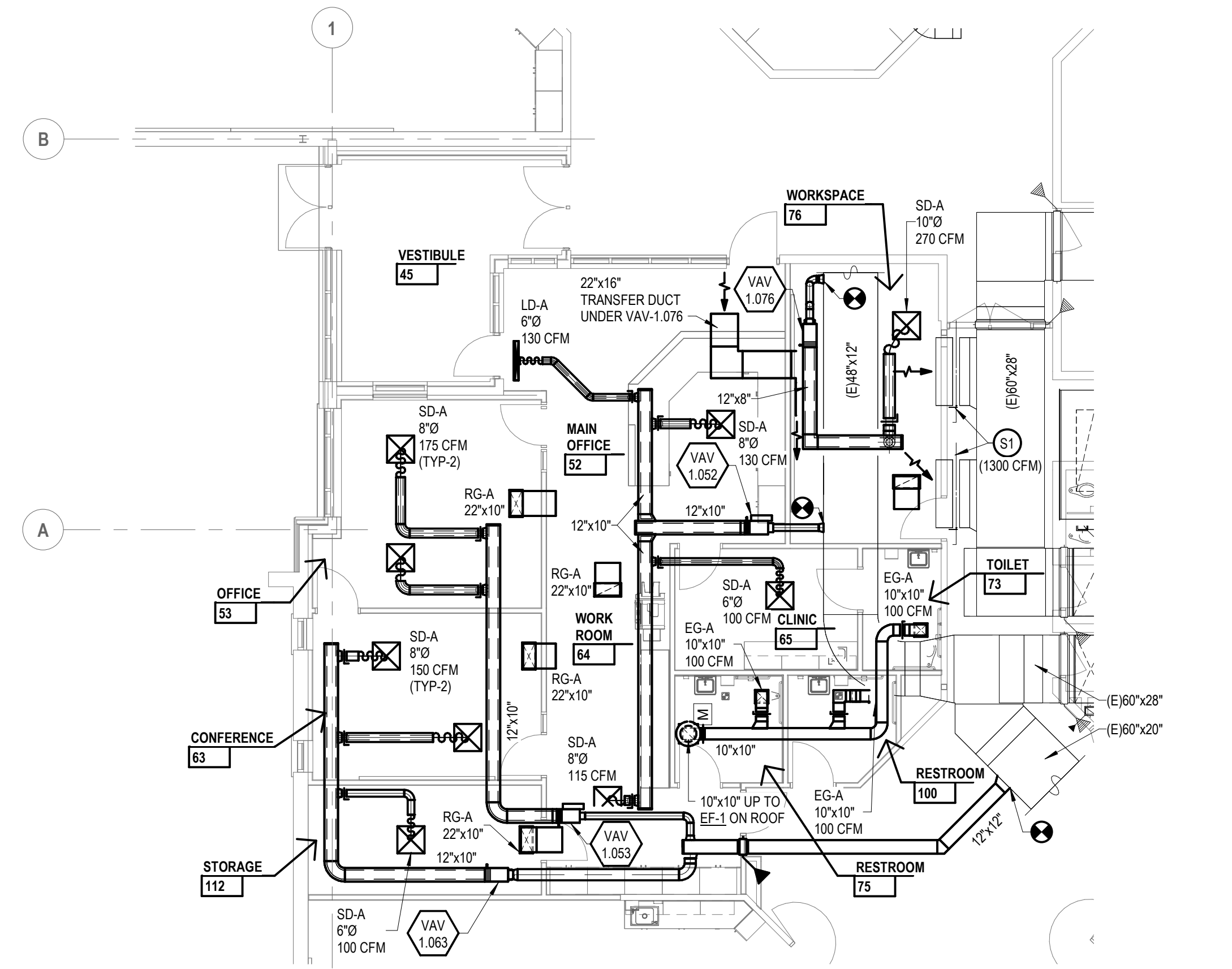
## KEYNOTES

HVAC PIPING  
 NOTE: NOT ALL KEYNOTES MAY BE USED

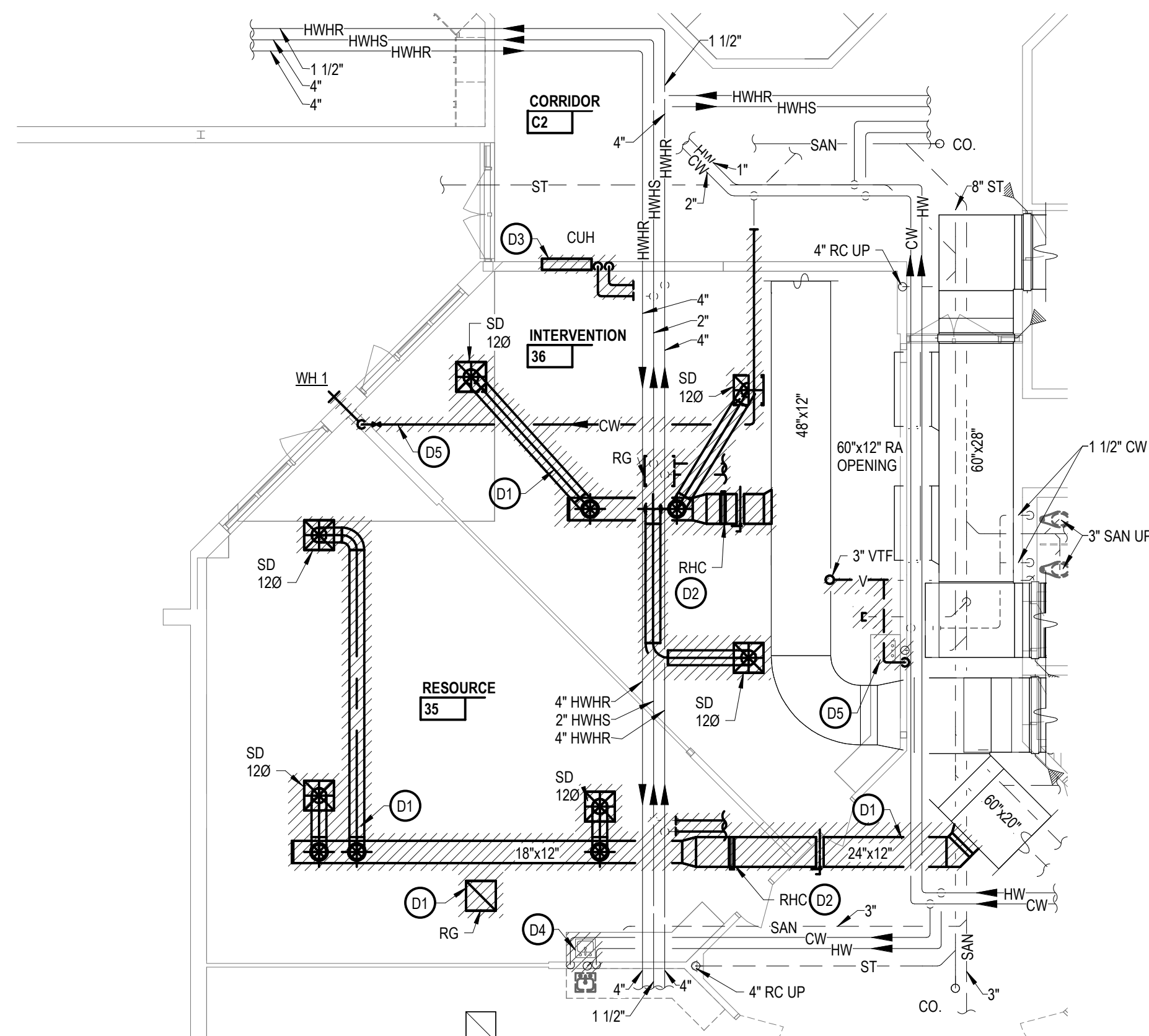
- ③ LEGEND SYMBOL INDICATOR
- H1 FACTORY MOUNTED THERMOSTAT.



3 1.FIRST FLOOR HVAC PIPING - TYLER ELEMENTARY  
 1.M0.1 1/8" = 1'-0" SAVAGE ELEMENTARY - SIM OPP HAND



2 1.FIRST FLOOR SHEET METAL - TYLER ELEMENTARY  
 1.M0.1 1/8" = 1'-0" SAVAGE ELEMENTARY - SIM OPP HAND



1 1.FIRST FLOOR MECHANICAL DEMOLITION - TYLER ELEMENTARY  
 1.M0.1 1/8" = 1'-0" SAVAGE ELEMENTARY - SIM OPP HAND

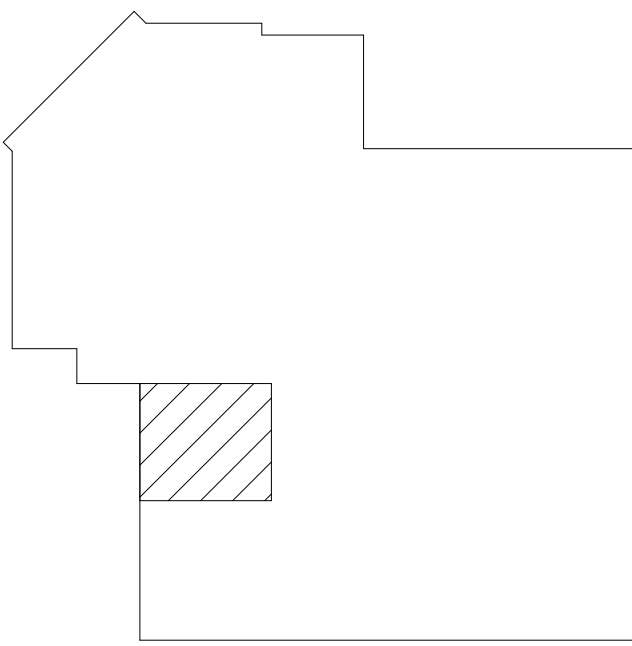
Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



Project Administrator  
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 Project Designer  
 N. Moegenborg  
 Project Architect / Engineer  
 N. Moegenborg  
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 Drawing Scale  
 As Noted

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 IDS Drawing Title

Partial Mechanical Plans

103 Project Number Drawing Number

20111-3008 1.M5.1

## KEYNOTES

### DEMOLITION

NOTE: NOT ALL KEYNOTES MAY BE USED

- ① LEGEND SYMBOL INDICATOR
- D1 REMOVE SUPPLY/RETURN DUCTWORK, AND ASSOCIATED GRILLES, REGISTERS, AND DIFFUSERS.
- D2 REMOVE HOT WATER HEATING COIL, ASSOCIATED HEATING HOT WATER SUPPLY AND RETURN PIPING, AND CONTROLS.
- D3 REMOVE CABINET UNIT HEATER AND ASSOCIATED HEATING HOT WATER SUPPLY AND RETURN PIPING.
- D4 REMOVE PLUMBING FIXTURE SANITARY, HOT WATER, AND COLD WATER PIPING.
- D5 REMOVE COLD WATER PIPING AND WALL HYDRANT.

## KEYNOTES

### SHEET METAL

NOTE: NOT ALL KEYNOTES MAY BE USED

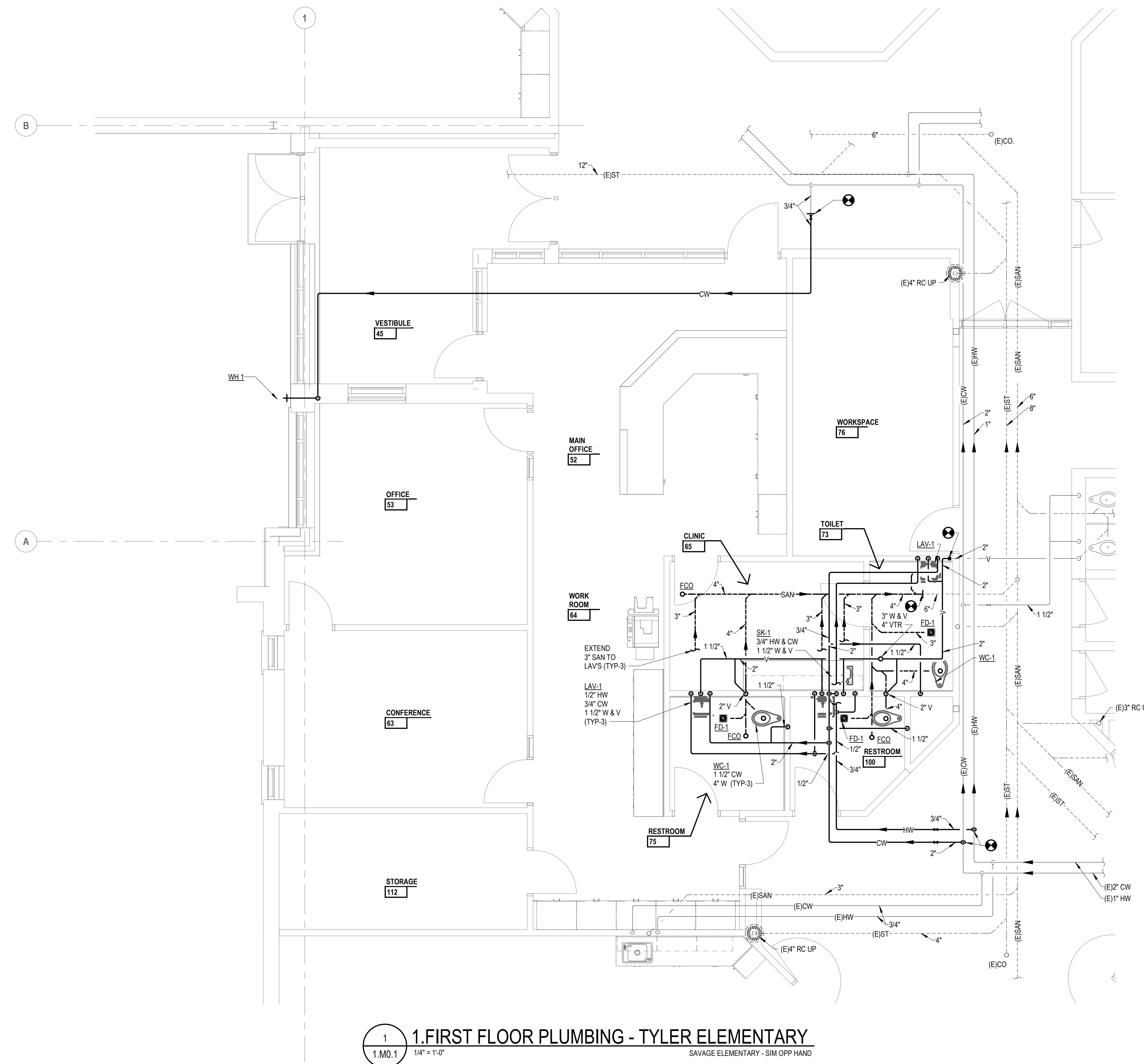
- ① LEGEND SYMBOL INDICATOR
- S1 BALANCE TO AIRFLOW INDICATED.

## KEYNOTES

### HVAC PIPING

NOTE: NOT ALL KEYNOTES MAY BE USED

- ① LEGEND SYMBOL INDICATOR
- H1 FACTORY MOUNTED THERMOSTAT.



**1.1.MQ.1 1.FIRST FLOOR PLUMBING - TYLER ELEMENTARY**  
SAVAGE ELEMENTARY - SIM OPP HAND  
1/4" = 1'-0"

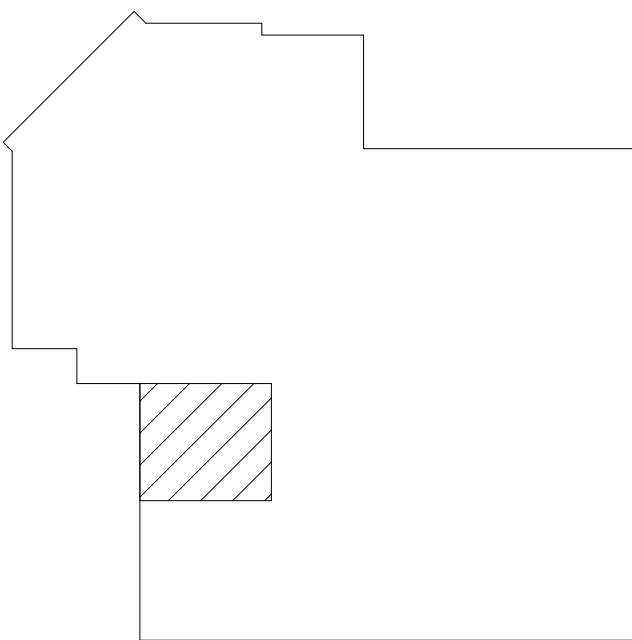
Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



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Approved

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Drawing Scale

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iDS Drawing Title

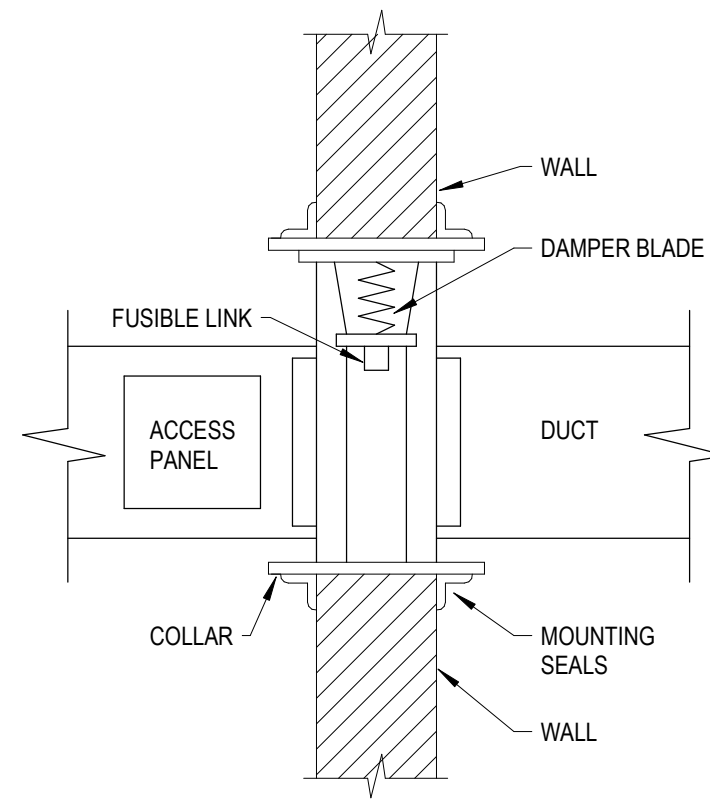
Partial Mechanical Plans

103 Project Number

Drawing Number

20111-3008

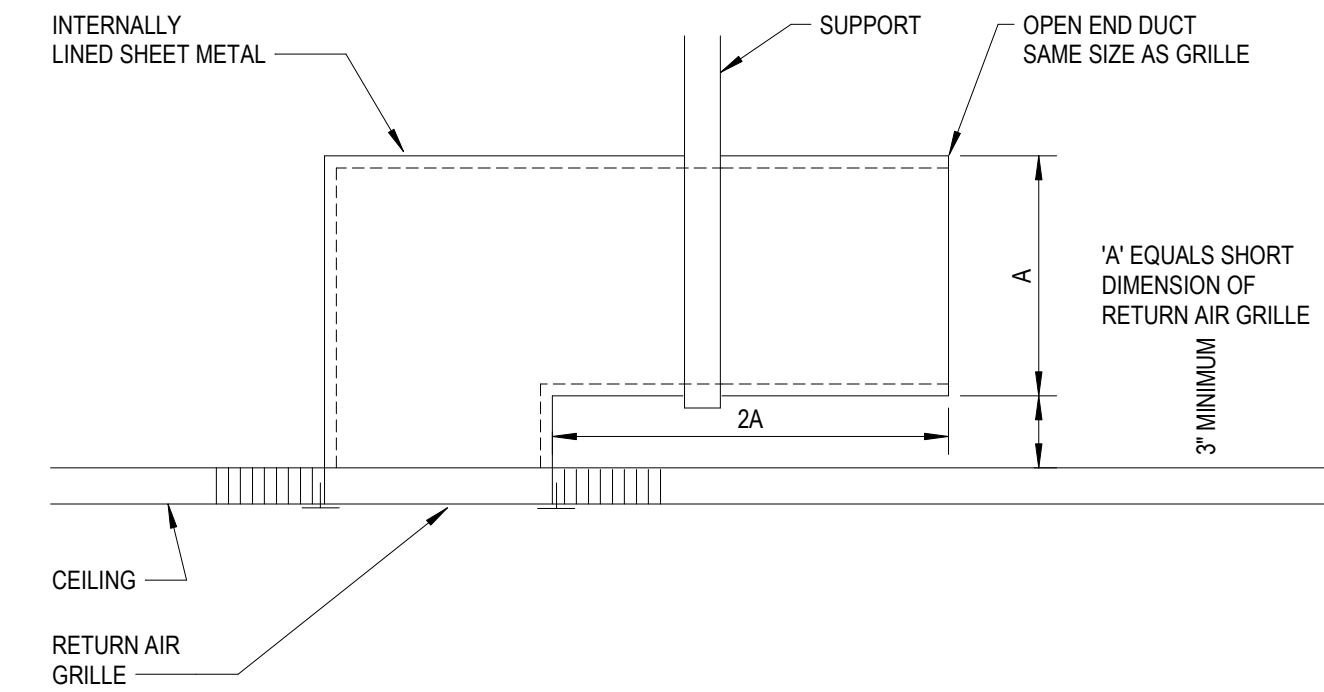
1.M5.2



NOTE:  
1. ALL DAMPERS MUST HAVE UL LABEL  
2. PROVIDE 14"x14" ACCESS PANEL IN DUCT WHEN SIZE PERMITS. FOR SMALLER DUCTS, MAKE PANEL 2" LESS THAN DUCT.

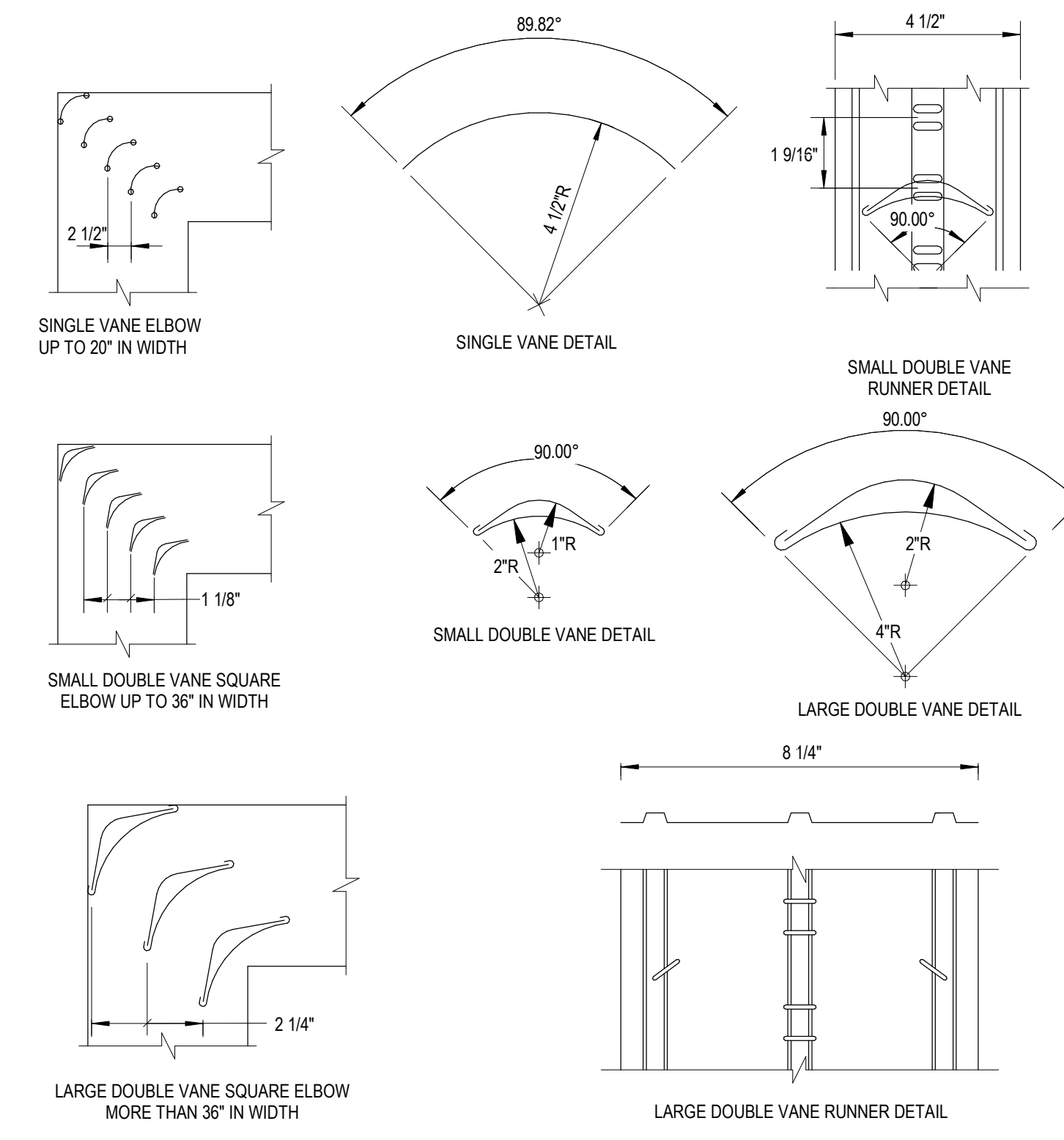
**TYPICAL FIRE DAMPER CURTAIN TYPE**

NO SCALE



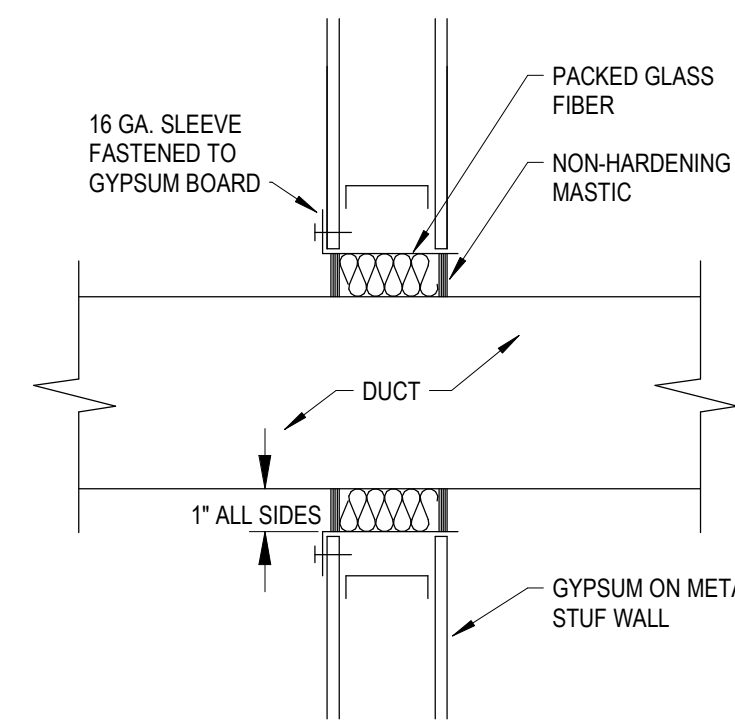
**TYPICAL CEILING RETURN AIR GRILLE SOUND TRAP**

NO SCALE



**SQUARE AND RECTANGULAR ELBOWS - LOW VELOCITY**

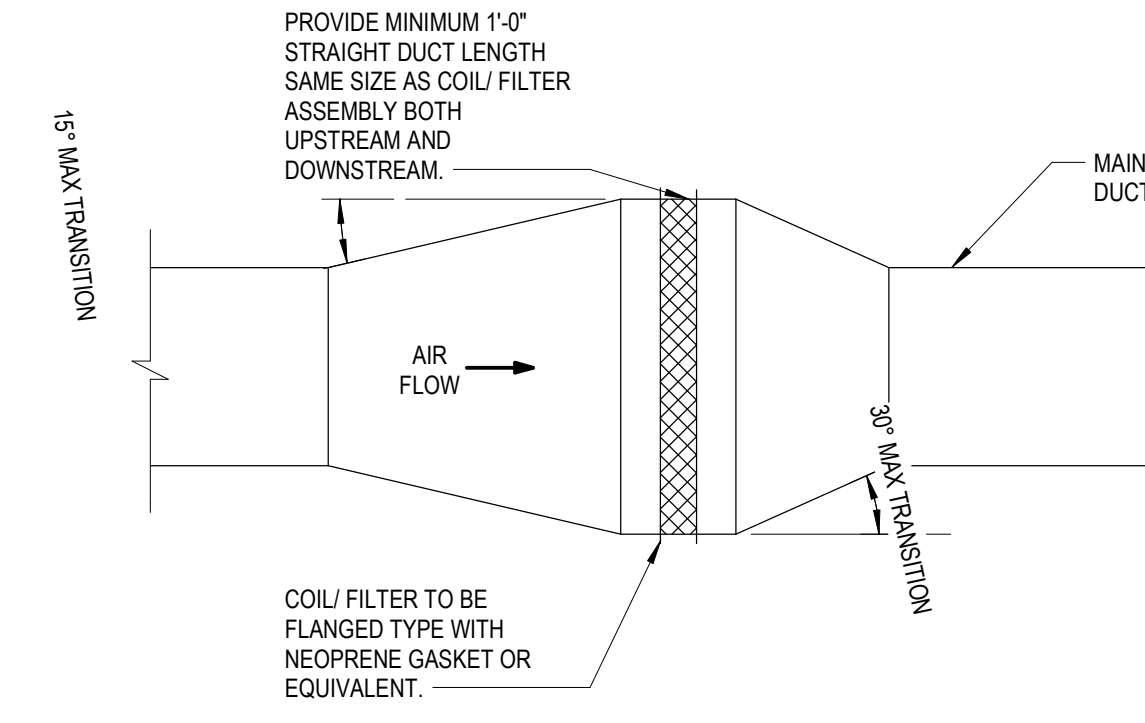
NO SCALE



NOTE:  
1. COORDINATE WITH ARCH TRADES FOR FRAME WALL OPENINGS LARGER THAN 14 INCHES WIDE OR WHERE METAL STUD MUST BE CUT TO INSTALL DUCT.

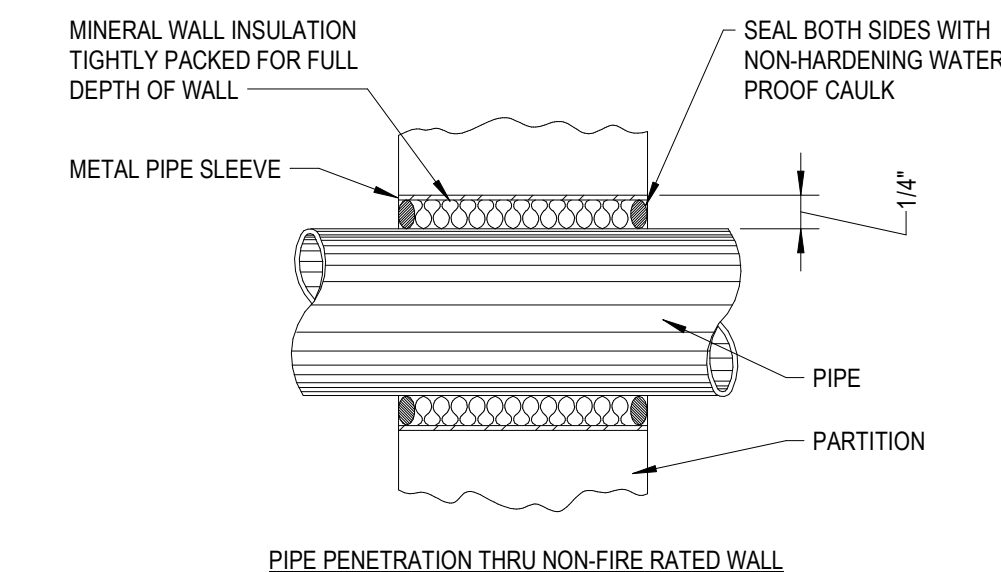
**DUCT SEAL AT NON-RATED WALLS**

NO SCALE

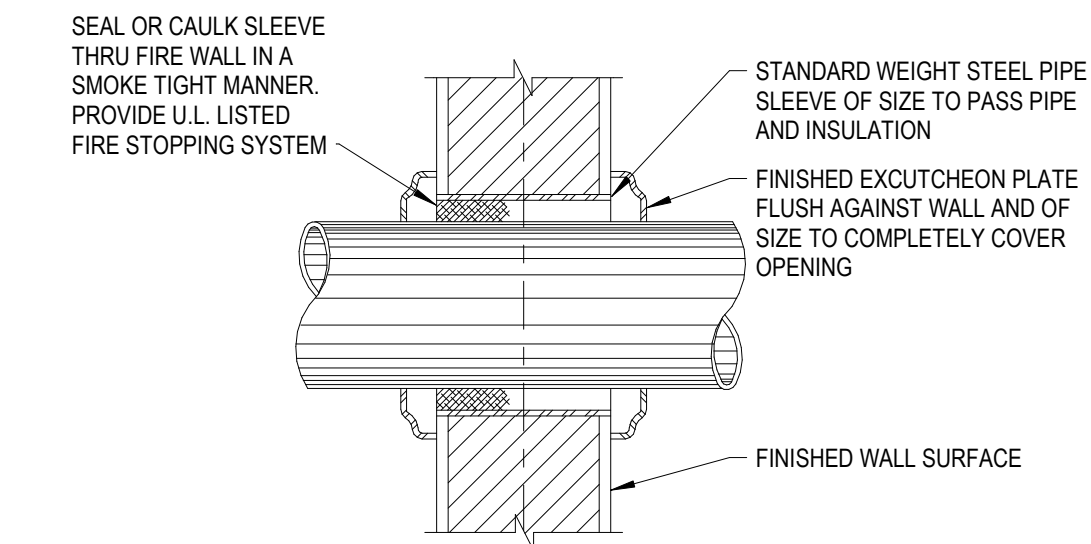


**TYPICAL DUCT TRANSITION**

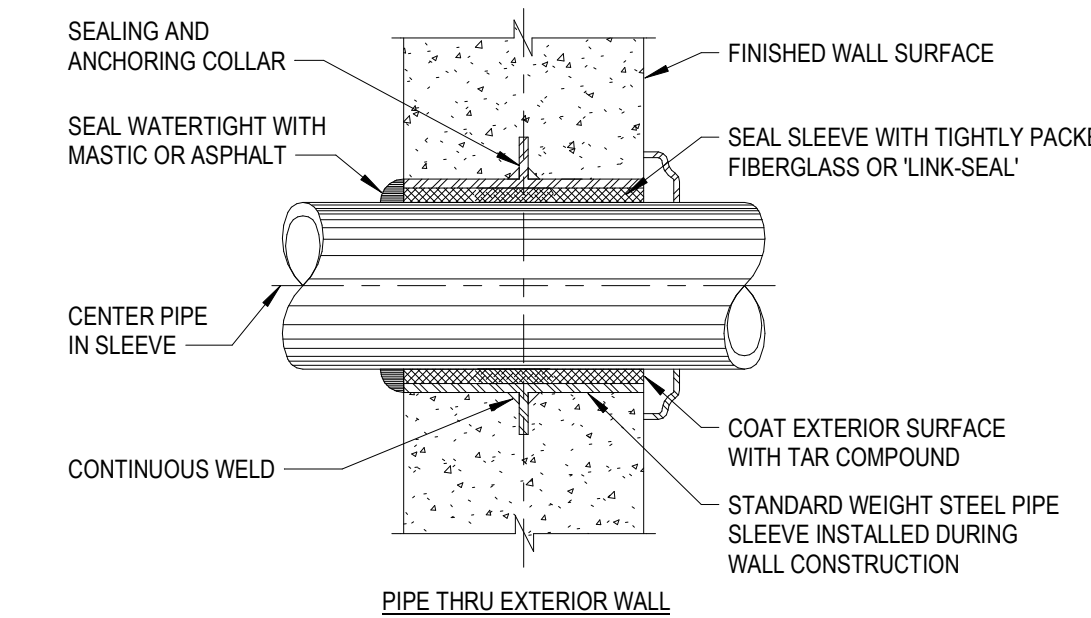
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**PIPE PENETRATION THRU NON-FIRE RATED WALL**

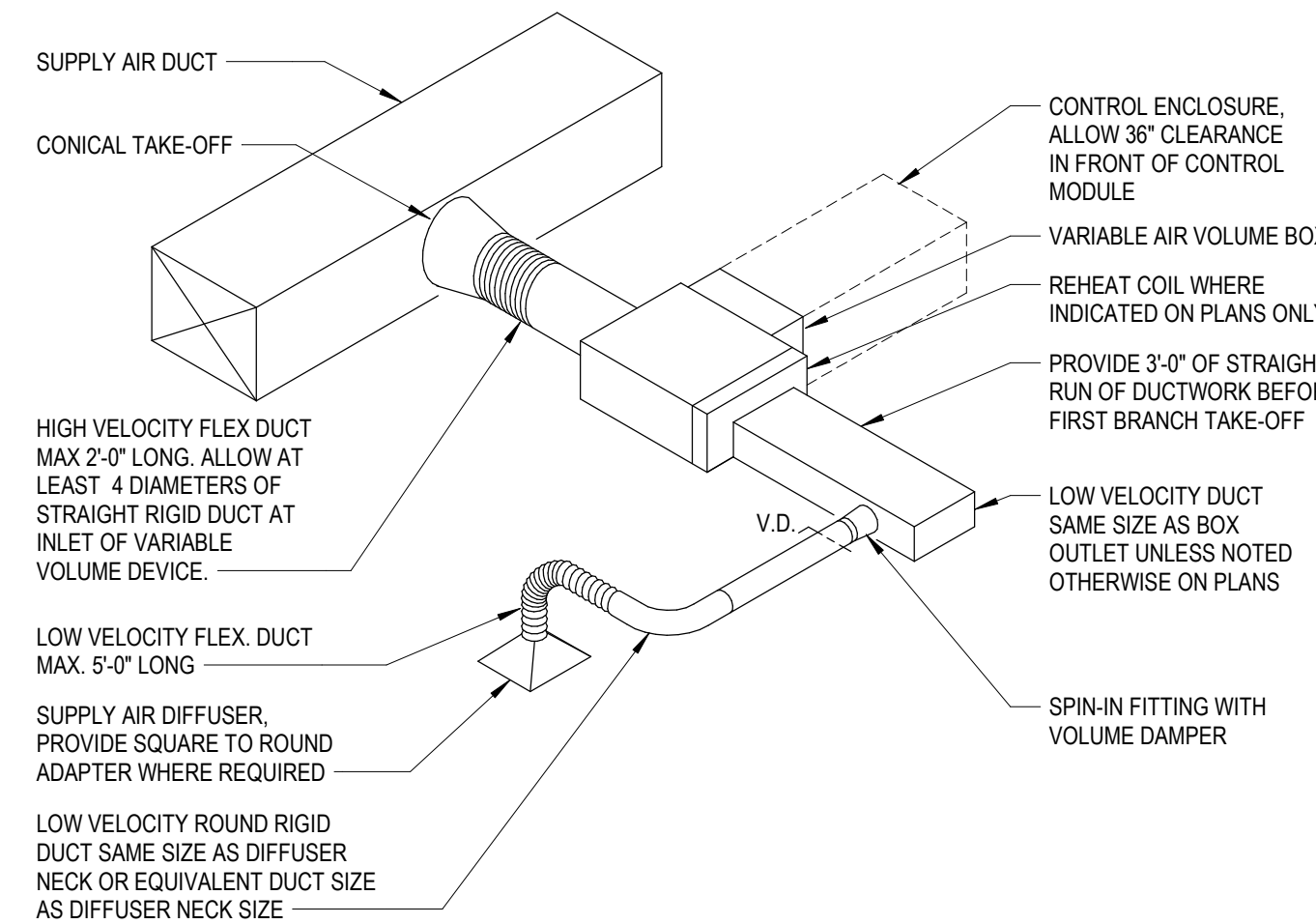


**PIPE THRU FIRE RATED WALL OR FLOOR**



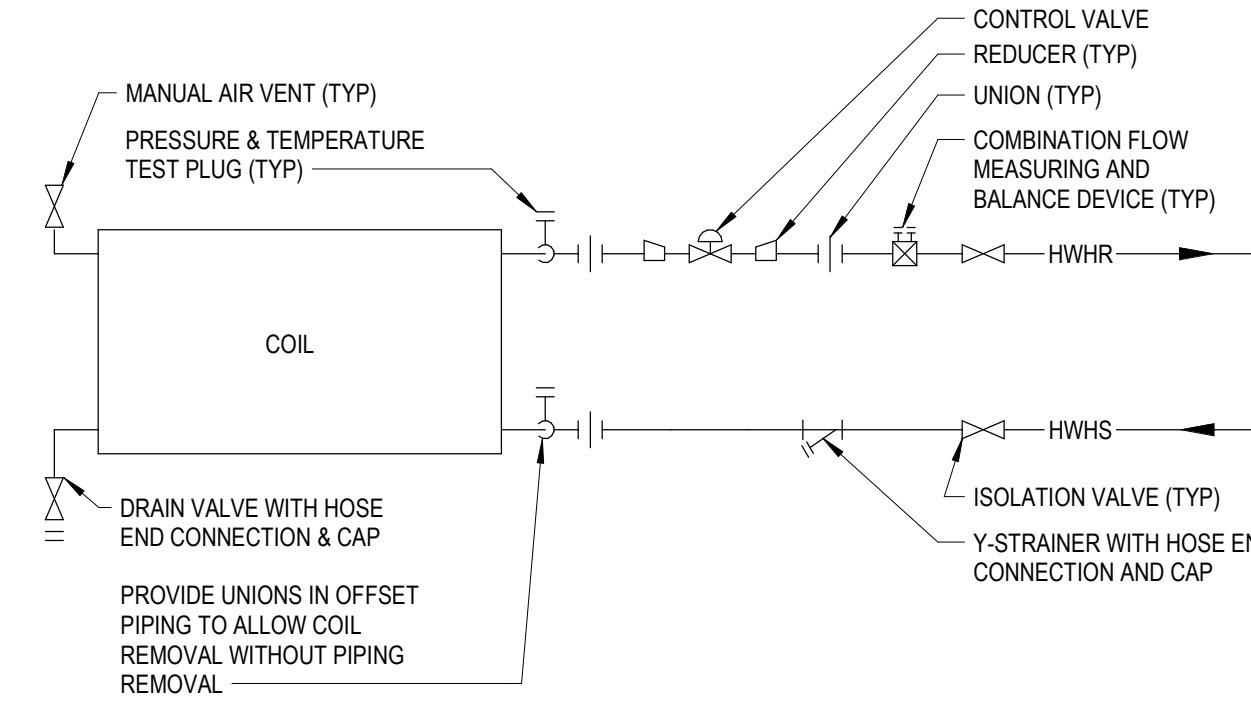
**PIPE PENETRATIONS**

NO SCALE



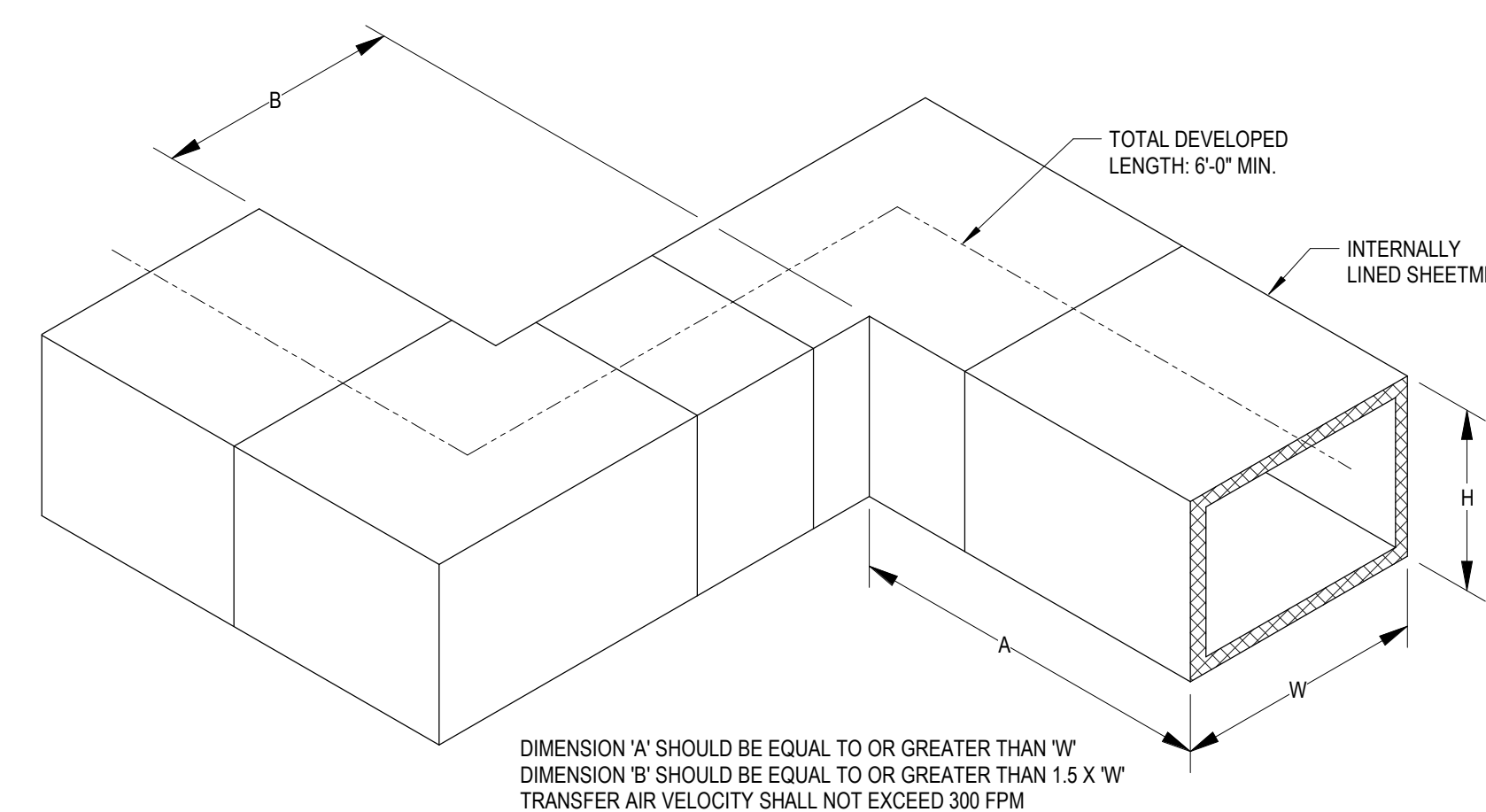
**TYPICAL VAV BOX DETAIL**

NO SCALE



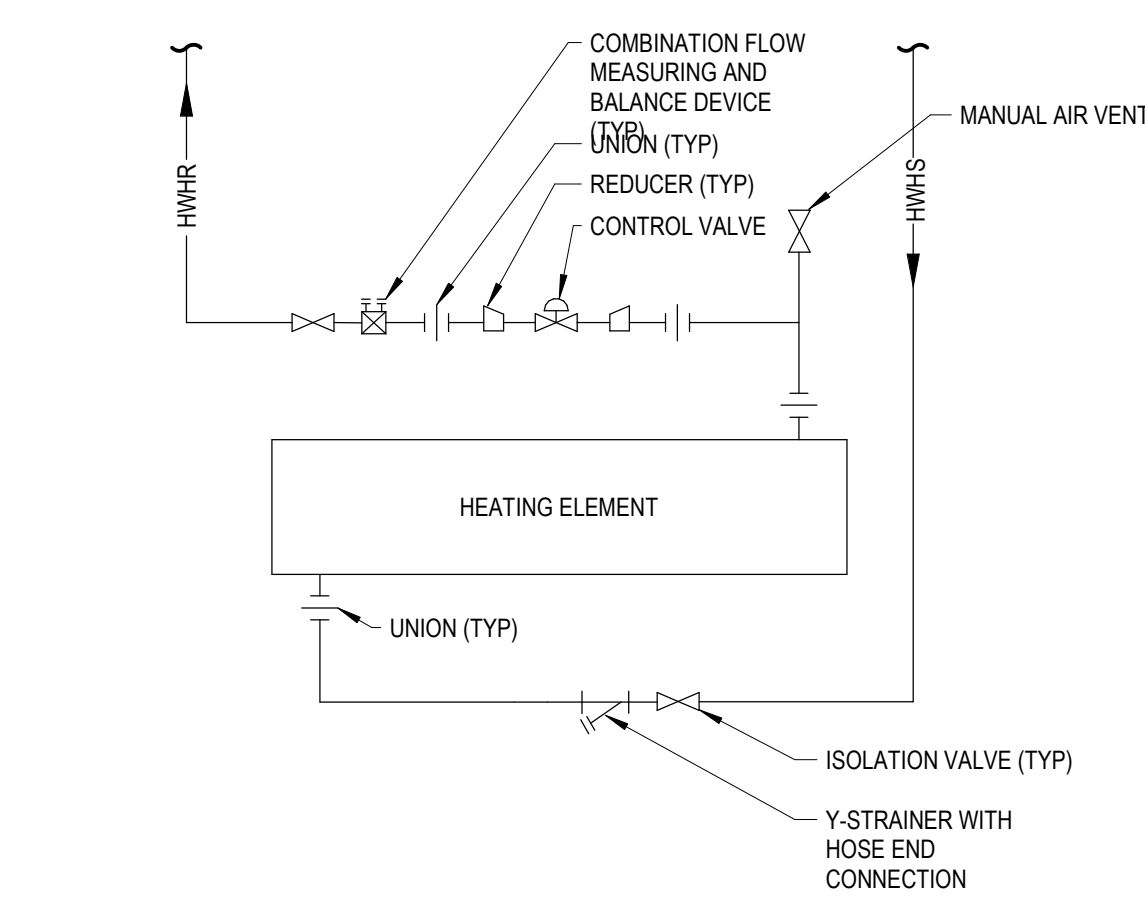
**TERMINAL HOT WATER HEATING COIL WITH 2 - WAY CONTROL VALVE**

NO SCALE



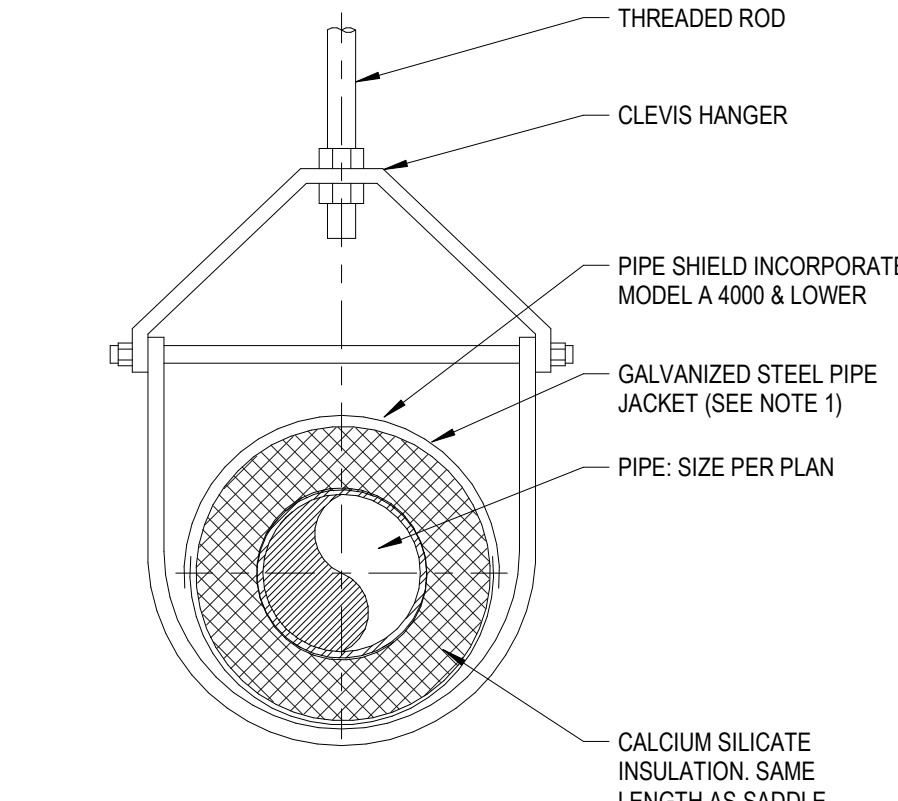
**TYPICAL TRANSFER AIR 'Z-DUCT' DETAIL**

NO SCALE



**HOT WATER CONVECTOR OR CABINET UNIT HEATER PIPING DIAGRAM**

NO SCALE



**SINGLE PIPE SUPPORT (LESS THAN 4")**

NO SCALE

NOTES:  
1. PROVIDE GALVANIZED SHEET METAL INSULATION JACKET AS FOLLOWS:  
PIPE SIZE: 2" TO 4"    LENGTH: 12"    GAUGE: 18



VARIABLE VOLUME TERMINAL WITH TEMPERING COIL SCHEDULE																				
MARK	HVAC SYSTEM	ROOM		MAX COOLING AIRFLOW (CFM)	MAX HEATING AIRFLOW (CFM)	MIN AIRFLOW (CFM)	INLET SIZE	OUTLET DUCT SIZE	MIN SP TO OPER. BOX	MAX NC	HOT WATER TEMPERING COIL								"PRICE" MODEL NO.	REMARKS
		No.	NAME								FLOW (GPM)	CAPACITY (MBH)	EWT (°F)	LWT (°F)	EAT (°F)	LAT (°F)	MAX PD (FT HD)	COIL RUNOUT (IN.)		
VAV - 1.052	1	52	RECEPTION	475	220	120	8"	12"x10"	0.25	27	0.5	7.1	180	150	55	85	3	1/2	SDV	
VAV - 1.053	1	53	PRINCIPAL OFFICE	350	220	70	6"	12"x8"	0.25	25	0.5	7.1	180	152	55	85	3	1/2	SDV	
VAV - 1.063	1	63	CONFERENCE ROOM	400	280	90	8"	12"x10"	0.25	27	0.6	9.1	180	150	55	85	3	1/2	SDV	BOTTOM ACCESS
VAV - 1.076	1	76	CONFERENCE ROOM	270	90	75	6"	12"x8"	0.25	25	0.5	2.9	180	161	55	85	3	1/2	SDV	BOTTOM ACCESS

**NOTES:**  
 1. MAX NC LEVEL BASED ON 1.5" INLET SP WITH NO ALLOWANCE FOR EXTERNAL ATTENUATION.  
 2. PROVIDE A 24"x24" CEILING MOUNTED ACCESS DOOR FOR ALL VARIABLE BOXES MOUNTED ABOVE INACCESSIBLE CEILINGS.  
 3. HOT WATER TEMPERING COILS SHALL BE MINIMUM 1-ROW.  
 4. PERFORMANCE BASED ON WATER UNLESS NOTED OTHERWISE.

FAN SCHEDULE													
MARK	LOCATION	AREA SERVED	DESIGN AIRFLOW (CFM)	EXTERNAL STATIC PRESSURE (IN. WG.)	FAN DATA			MOTOR DATA			ELECTRICAL V/PH/Hz	"GREENHECK" MODEL No.	REMARKS
					TYPE	DRIVE	FAN RPM	HP	BHP	RPM			
EF-1	ROOF	TOILET ROOMS	300	0.5	CENTRIFUGAL	DIRECT	1,675	1/10	0.07	1,725	120/60/1	G-080-VG	

**NOTES:**  
 1. PROVIDE ALL FANS WITH FACTORY MOUNTED AND WIRED DISCONNECT.

HOT WATER CABINET UNIT HEATER SCHEDULE																
MARK	HEATING CAPACITY (MBH)	FLUID FLOW (GPM)	EWT (°F)	LWT (°F)	EAT (°F)	LAT (°F)	FAN			ENCLOSURE L x D x H (IN.)	ELECTRICAL		"STERLING" MODEL No.	REMARKS		
							CFM	HP	RPM		TYPE	AREA (SF)			V/PH/Hz	AMPS
CJH-1	37.5	2.0	180	140	65	102	1060	1/10	1050	PERM	2.7	66 x 9-1/2 x 25	120/160	1.50	RWH-1130-10	

**NOTES:**  
 1. PROVIDE WITH FACTORY MOUNTED AND WIRED DISCONNECT.

GRILLE, REGISTER AND DIFFUSER SCHEDULE								
MARK	CORE STYLE	BORDER FRAME TYPE	MODULE SIZE	FINISH	ACCESSORY	CONSTRUCTION	"PRICE" MODEL No.	REMARKS
SD-A	LOUVER	NOTE 1	24"x24"	WHITE	NONE	STEEL	SCD	
RG-A	EGG CREATE	NOTE 1	24"x12"	WHITE	NONE	ALUMINUM	80	
EG-A	EGG CREATE	NOTE 1	24"x24"	WHITE	NONE	ALUMINUM	80	PROVIDE REMOTE OPERATED DAMPER
LD-A	LINEAR SLOT	NOTE 1	48" LONG	WHITE	SDB PLENUM	ALUMINUM	SDS100	2 SLOTS

**NOTES:**  
 1. COORDINATE MOUNTING FRAMES WITH REFLECTED CEILING PLANS.  
 2. COORDINATE LENGTH OF ALL LINEAR SUPPLIES AND RETURNS WITH ARCHITECTURAL FLOOR PLANS AND REFLECTED CEILING PLANS.

Project Title



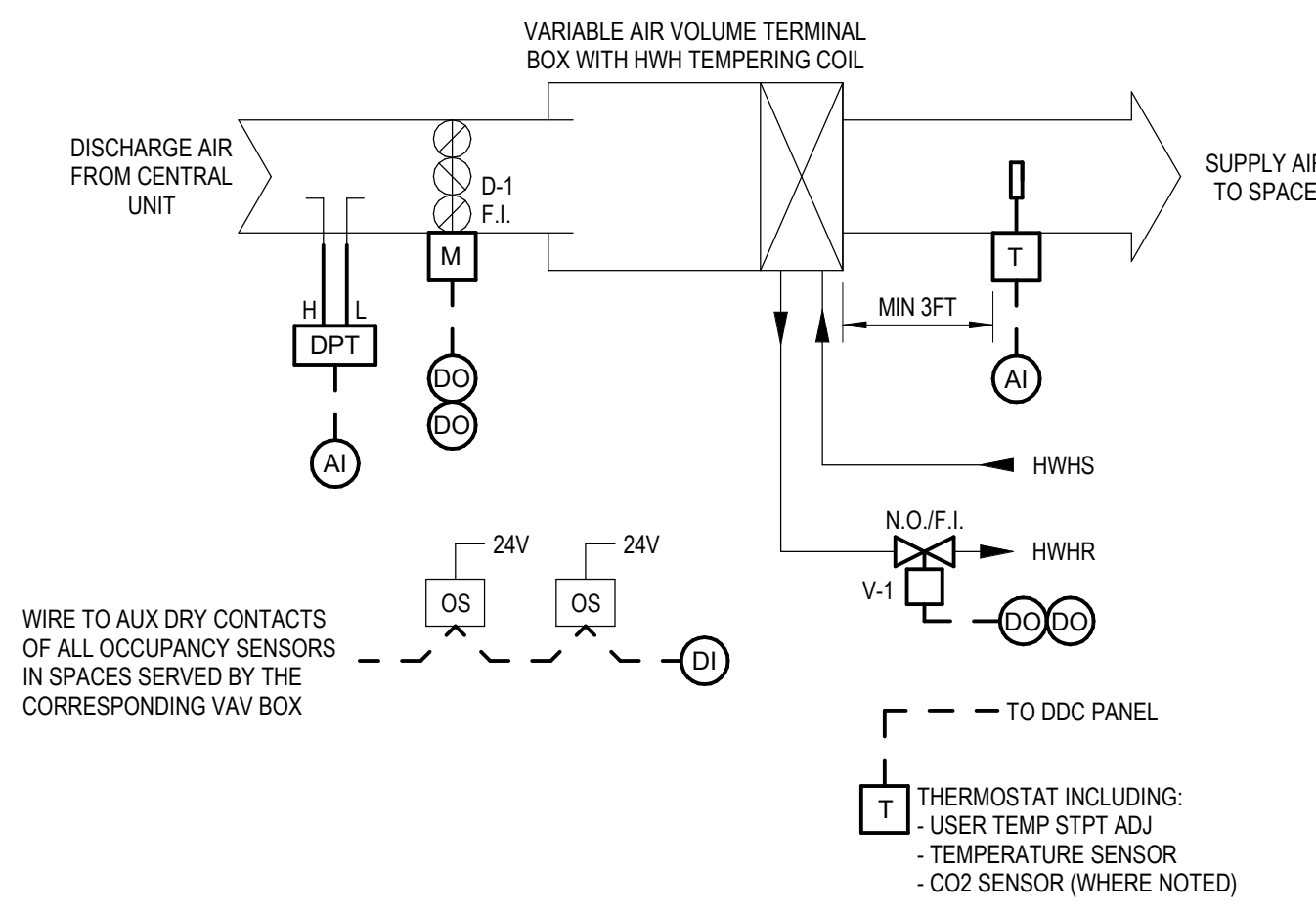
Van Buren Public Schools  
**Savage & Tyler Elementary  
 Schools Secured Entry  
 Renovations**

Key Plan

Project Administrator	A. Maurer
Project Designer	Designer
Project Architect / Engineer	N. Moeggenborg
Drawn By	Author
Q.M. Review	T. Verduyssen
Approved	J. Schwartz
Drawing Scale	None
Issued for	Issue Date
Design Development	06-24-2024
Quality Management Review	08-23-2024
Bids	09-13-2024

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 IDS Drawing Title

Schedules



## VAV TERMINAL WITH HWH TEMPERING COIL CONTROL DIAGRAM

**NOTES**  
1. WHERE APPLICABLE, OCCUPANCY SENSORS TO BE INSTALLED, POWERED, AND CONNECTED TO LIGHTING CONTROLS BY THE ELECTRICAL CONTRACTOR. THE MECHANICAL SYSTEMS CONTRACTOR (MSCC) SHALL CONNECT ALL OCCUPANCY SENSORS IN SPACES SERVED BY THE CORRESPONDING VAV BOX TO THE VAV CONTROLLER SUCH THAT ALL SPACES MUST BE SIMULTANEOUSLY UNOCCUPIED IN ORDER TO INDICATE UNOCCUPIED STATUS IN THE VAV CONTROLLER.

### SEQUENCE OF OPERATION

#### GENERAL

1. THE OPERATING MODE OF THE TERMINAL UNIT SHALL BE AUTOMATICALLY CYCLED BETWEEN OCCUPIED AND UNOCCUPIED MODE TO MATCH THE OCCUPANCY MODE OF THE ASSOCIATED CENTRAL UNIT.
2. WHERE APPLICABLE, WHEN THE TIME SCHEDULE INDICATES OCCUPIED AND CONNECTED OCCUPANCY SENSORS INDICATE THE SPACE IS UNOCCUPIED, THE UNIT SHALL OPERATE IN STANDBY MODE.
3. UPON NO DEMAND FOR HEATING OR COOLING, THE DAMPER SHALL CONTROL AIRFLOW TO THE MINIMUM AIRFLOW CFM SETPOINT.
4. UPON A RISING DEMAND FOR COOLING, THE DAMPER SHALL CONTROL TOWARDS THE MAXIMUM COOLING AIRFLOW CFM SETPOINT.
5. UPON A RISING DEMAND FOR HEATING, FIRST THE HEATING CONTROL VALVE SHALL INCREASE HEATING TOWARDS MAXIMUM. UPON A FURTHER DEMAND FOR HEATING, THE DAMPER SHALL CONTROL AIRFLOW TOWARDS THE MAXIMUM HEATING AIRFLOW CFM SETPOINT.

#### OCCUPIED MODE OPERATION

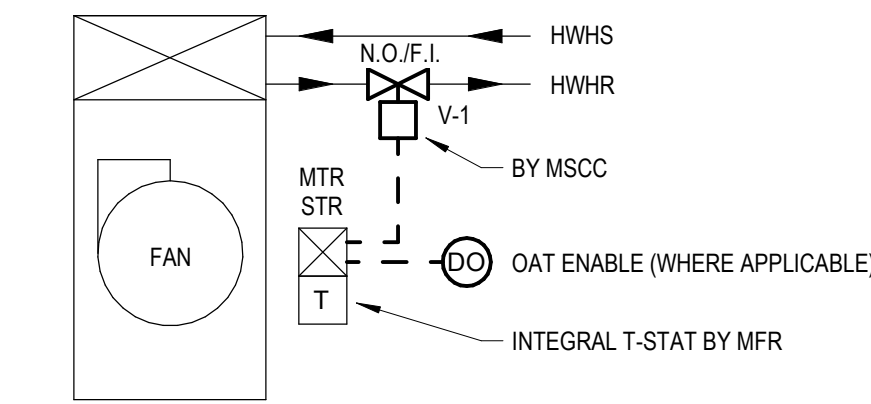
1. THE UNIT SHALL CONTROL TO MAINTAIN THE OCCUPIED SPACE TEMPERATURE RANGE (70°F TO 75°F). LOCAL TEMPERATURE SETPOINT ADJUSTMENT SHALL BE DISABLED.
2. UNITS SERVING PRIVATE OFFICES SHALL PERMIT LOCAL OCCUPIED SPACE TEMPERATURE SETPOINT ADJUSTMENT AND SHALL CONTROL TO MAINTAIN THE SET THERMOSTAT TEMPERATURE SETPOINT.

#### UNOCCUPIED MODE OPERATION

1. THE UNIT SHALL CONTROL TO MAINTAIN THE UNOCCUPIED SPACE TEMPERATURE RANGE (60°F TO 65°F).

#### STANDBY MODE OPERATION

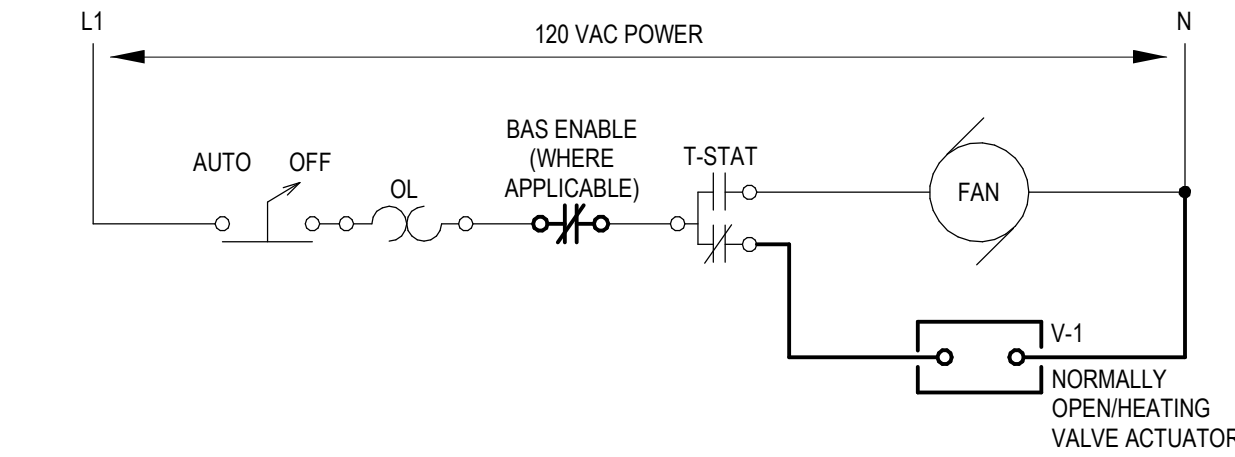
1. THE UNIT SHALL CONTROL TO MAINTAIN THE STANDBY SPACE TEMPERATURE RANGE (65°F TO 80°F).



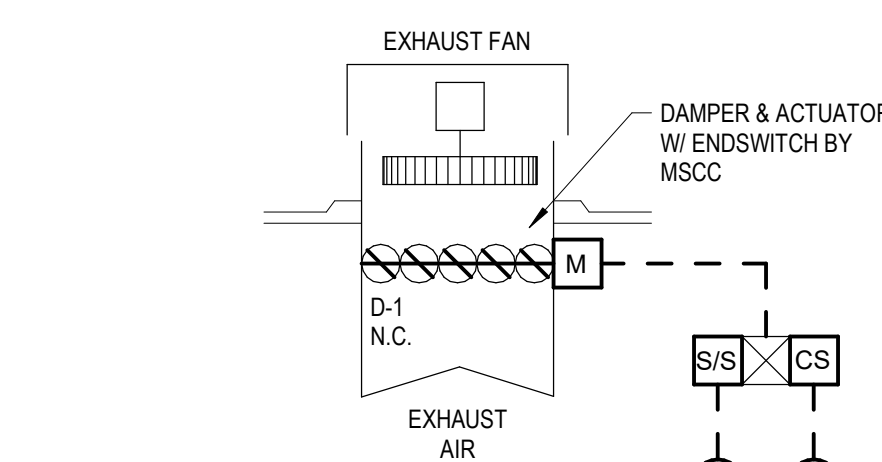
## CABINET UNIT HEATER CONTROL DIAGRAM

### SEQUENCE OF OPERATION

1. THE CABINET UNIT HEATER FAN AND VALVE SHALL CYCLE TO MAINTAIN THE INTEGRAL THERMOSTAT TEMPERATURE SETPOINT.
2. APPLICABLE TO UNITS LOCATED IN BUILDING VESTIBLES OR NEAR EXTERIOR DOORS, WHEN THE OUTSIDE AIR TEMPERATURE IS GREATER THAN 45°F (ADJ), THE BAS SHALL DISABLE THE UNIT.

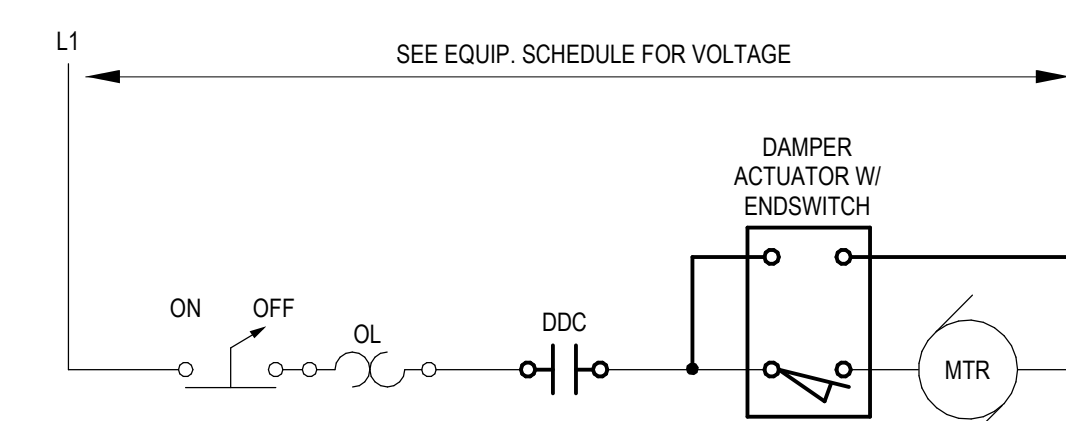


## CABINET UNIT HEATER WIRING DETAIL

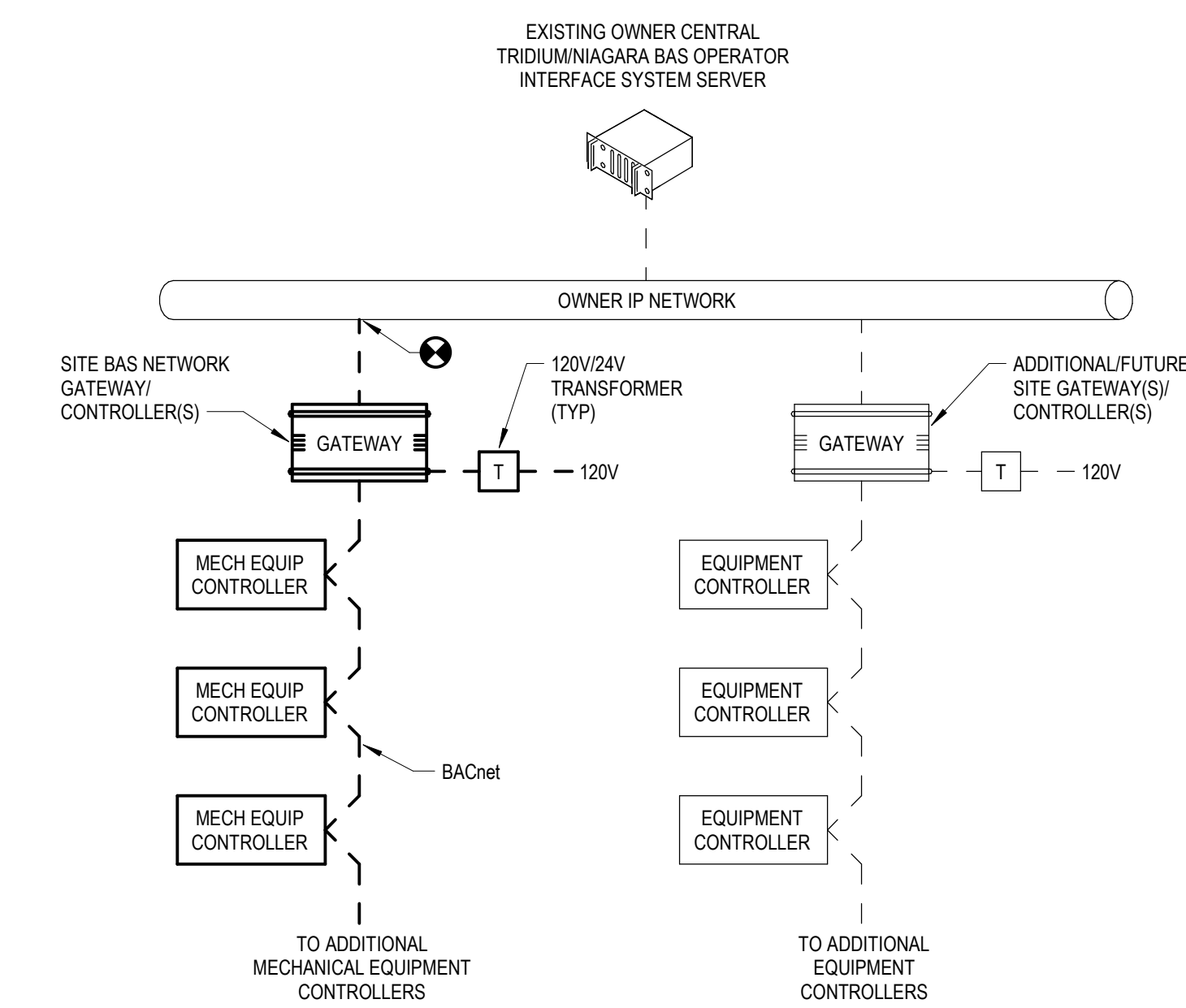


## ROOF MOUNTED EXHAUST FAN CONTROL DIAGRAM

**SEQUENCE OF OPERATION**  
1. THE EF SHALL BE SET TO ACTIVATE AND DEACTIVATE ACCORDING TO THE SET OPERATION TIME SCHEDULE FOR OCCUPIED AND UNOCCUPIED TIME PERIODS.  
2. WHEN THE FAN IS ENABLED, THE ISOLATION DAMPER SHALL OPEN. ONCE THE DAMPER END SWITCH VERIFIES THE DAMPER HAS OPENED, THE FAN SHALL START.



## TYPICAL SINGLE PHASE EXHAUST FAN WIRING DETAIL



## BUILDING AUTOMATION SYSTEM NETWORK RISER DIAGRAM

**NOTES**  
1. THE MECHANICAL SYSTEMS CONTROLS CONTRACTOR (MSCC) SHALL PROVIDE A NEW BUILDING AUTOMATION SYSTEM (BAS) CONTROLLER/GATEWAY DEVICE OR DEVICES, POWER SUPPLIES, AND NEMA 1 ENCLOSURES AS NECESSARY TO INTEGRATE ALL FIELD DEVICES AND DEVICE NETWORKS TO THE OWNER CENTRAL BAS OPERATOR INTERFACE SYSTEM (OIS) SERVER.  
2. MSCC SHALL PROVIDE ETHERNET IP DATA CONNECTION(S) AND LOCATE DEVICE(S) AS NECESSARY IN COORDINATION WITH THE ELECTRICAL/TECHNOLOGY CONTRACTOR AND THE OWNER.







### KEY NOTES

- RELOCATE FIRE ALARM ANNUNCIATOR PANEL AND CEILING MOUNTED SMOKE DETECTOR FROM GENERAL OFFICE 49 TO NEW SECURED ENTRY MAIN OFFICE 62.
- DOORS HELD OPEN BY ELECTRIFIED HOLD OPEN DEVICES. WIRING TO HOLD OPEN DEVICES SHALL BE #12 AWG. ALL WIRING BELOW CEILING PROVIDED IN SURFACED MOUNTED WIREMOLD. CONNECT NEW FIRE ALARM MODULE TO EXISTING FIRE ALARM SYSTEM. COORDINATE WITH ARCHITECTURAL DOOR HARDWARE SCHEDULE PRIOR TO ROUGH IN. REFER TO DETAIL 6 ON DRAWING 1.E7.1 FOR ADDITIONAL INFORMATION.
- DOOR HELD OPEN BY ELECTRIFIED HOLD OPEN DEVICES. WIRING TO HOLD OPEN DEVICES SHALL BE #12 AWG. CONNECT NEW DEVICES TO EXISTING FIRE ALARM SYSTEM. COORDINATE WITH ARCHITECTURAL DOOR HARDWARE SCHEDULE PRIOR TO ROUGH IN. REFER TO DETAIL 6 ON DRAWING 1.E7.1 FOR ADDITIONAL INFORMATION.

Project Title



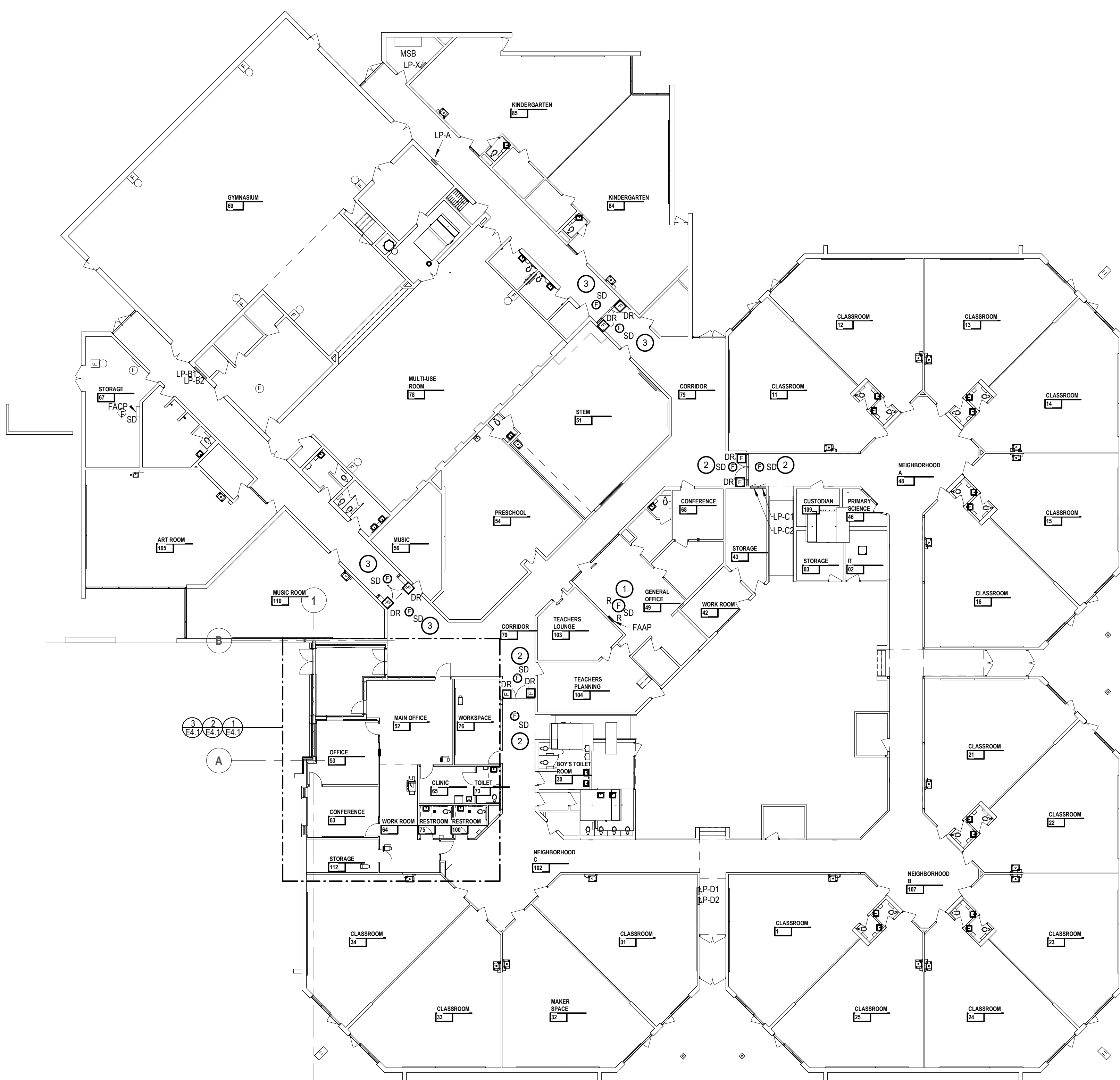
Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan



2 FIRST FLOOR COMPOSITE PLAN - SAVAGE ELEMENTARY  
1/16" = 1'-0"



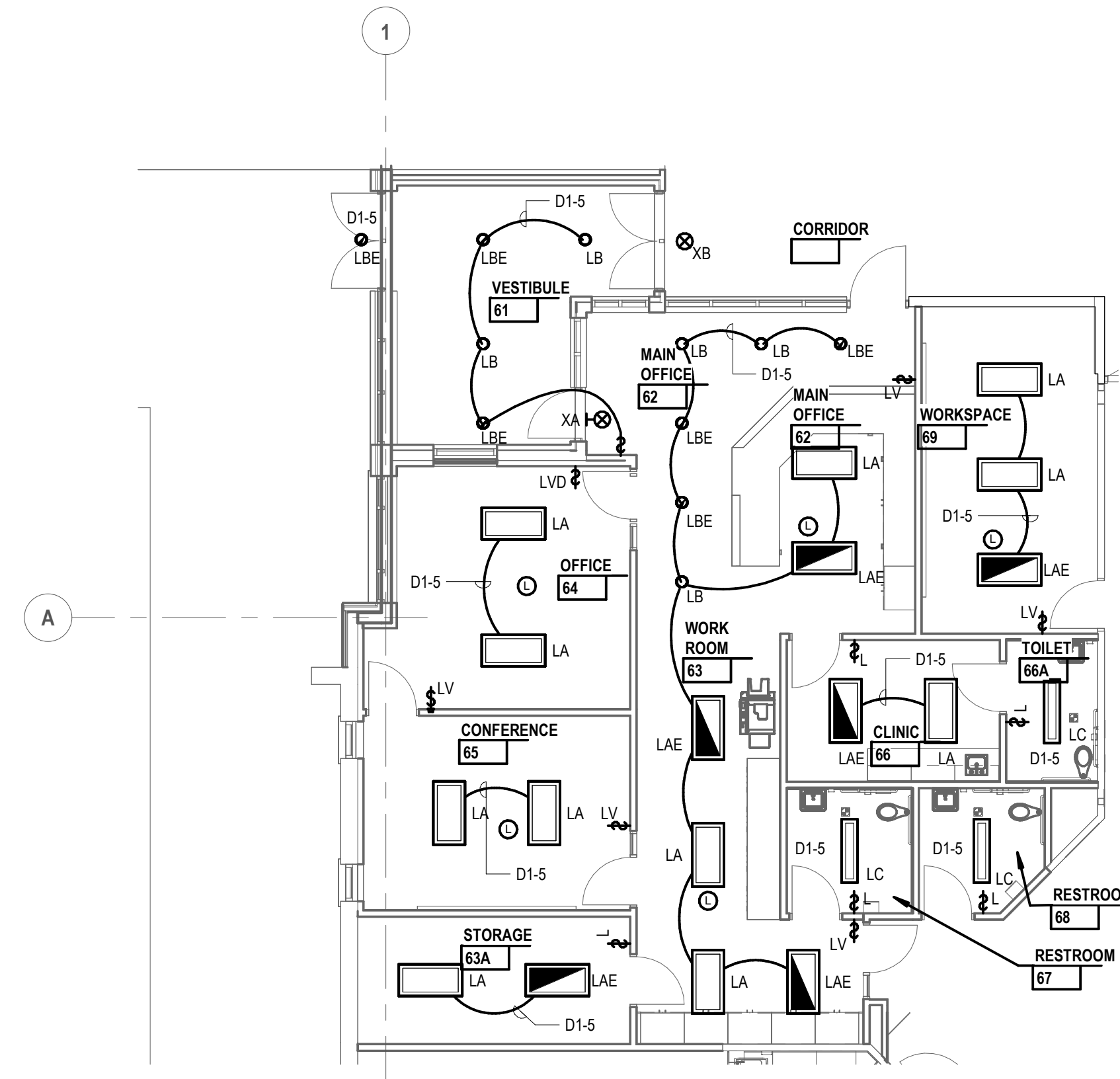
1.FIRST FLOOR COMPOSITE PLAN - TYLER ELEMENTARY  
1/16" = 1'-0"

Project Administrator	A. Maurer
Project Designer	T. Morgan
Project Architect / Engineer	T. Morgan
Drawn By	T. Morgan
Q.M. Review	T. Carron
Approved	T. Carron
Drawing Scale	As Noted

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Design Development	06-24-2024
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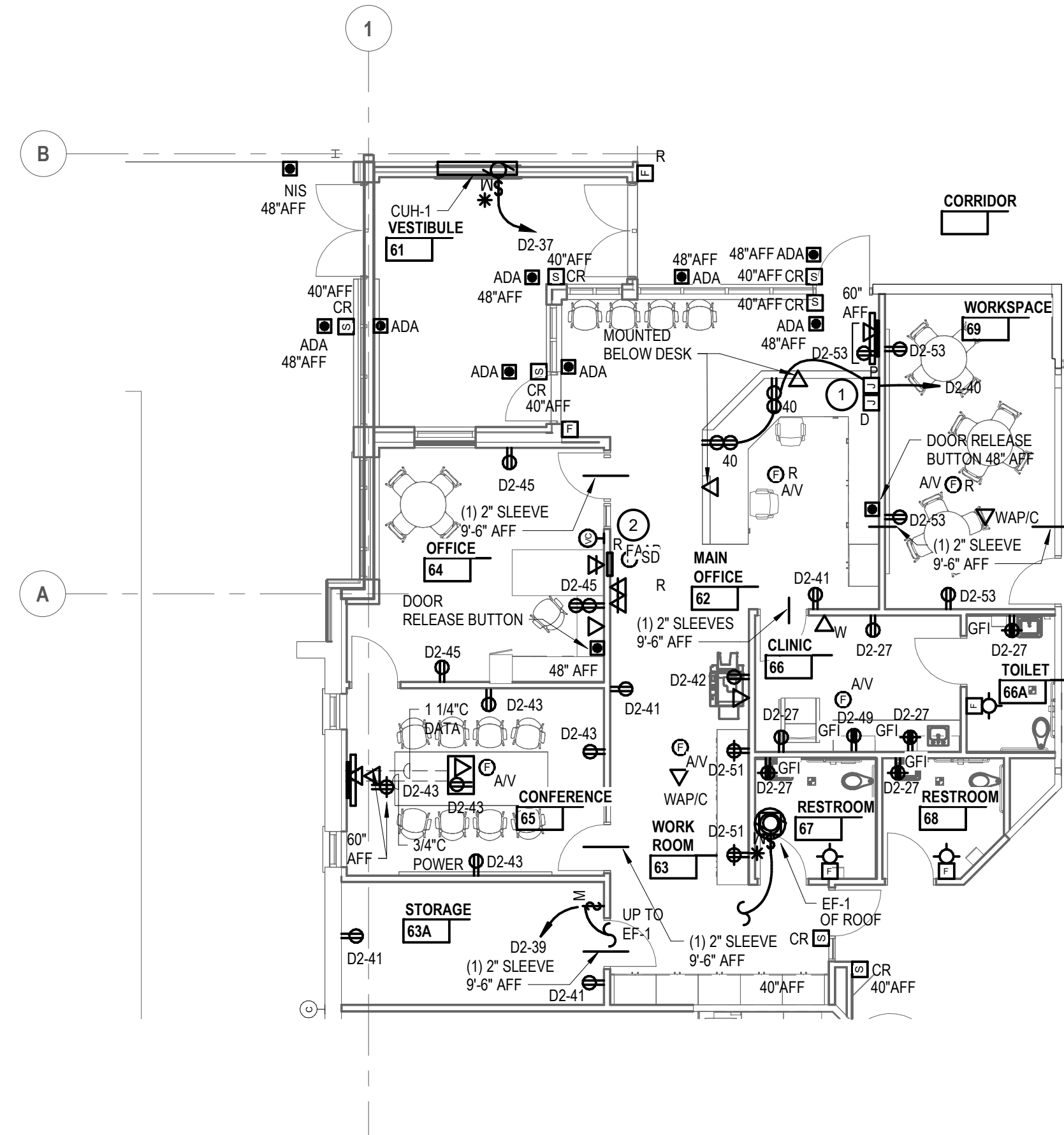
### KEY NOTES

- 1 PROVIDE JUNCTION BOX IN WALL AT 18" AFF FOR ROUTING POWER BRANCH WIRING TO OUTLETS AND DATA CABLING WITH PULL STRINGS.
- 2 RELOCATE EXISTING FIRE ALARM ANNUNCIATOR PANEL FROM EXISTING MAIN OFFICE TO NEW SECURED ENTRY ADDITION.



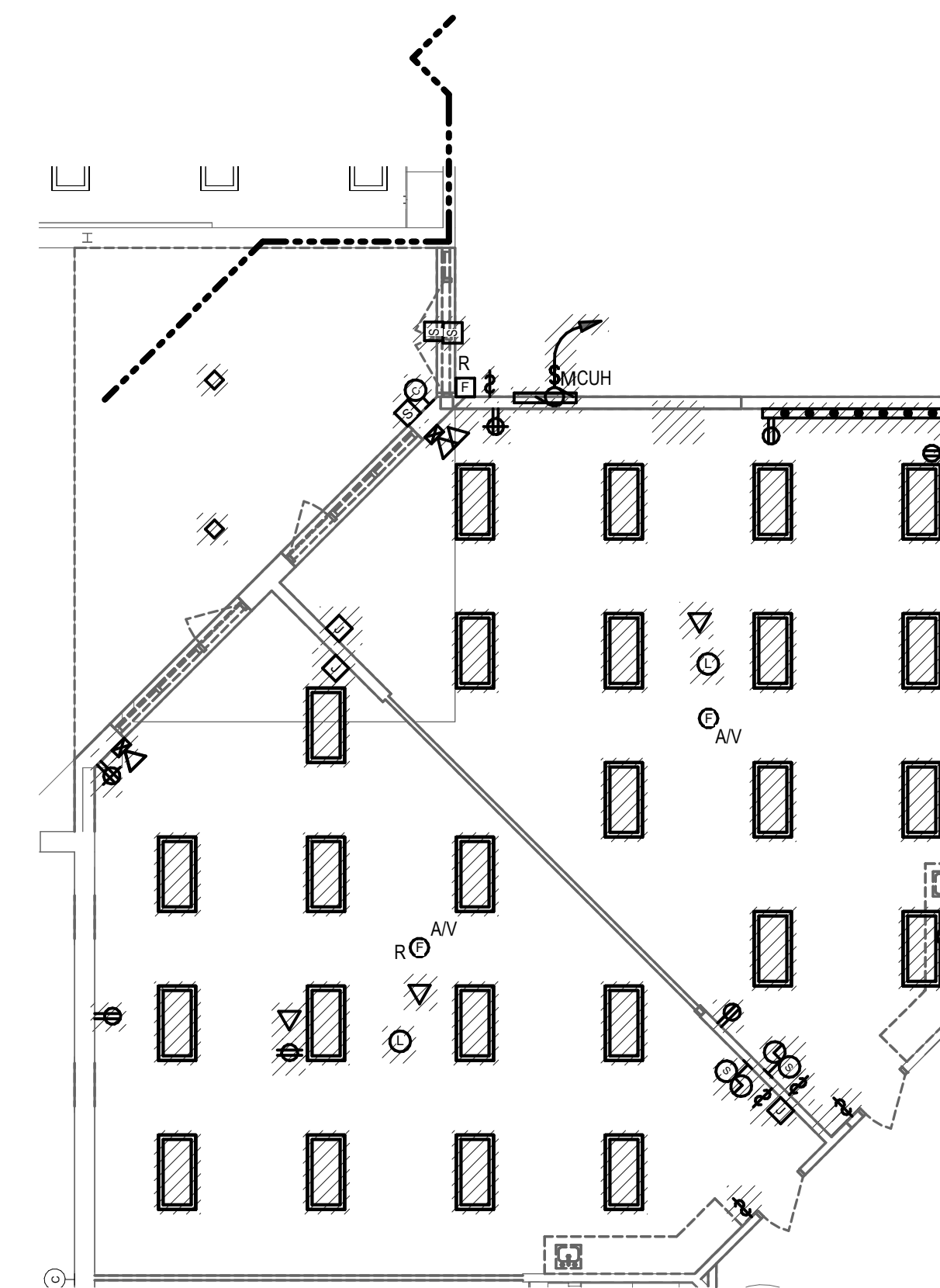
**2 LIGHTING PLAN**  
1/8" = 1'-0"

Savage Elementary - SIM OPP HAND



**3 NEW WORK POWER & AUXILIARY SYSTEMS PLAN**  
1/8" = 1'-0"

Savage Elementary - SIM OPP HAND



**1 DEMOLITION PLAN**  
1/8" = 1'-0"

Savage Elementary - SIM OPP HAND

Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan

Project Administrator	A. Maurer
Project Designer	T. Morgan
Project Architect / Engineer	T. Morgan
Drawn By	T. Morgan
Q.M. Review	T. Carron
Approved	T. Carron
Drawing Scale	As Noted

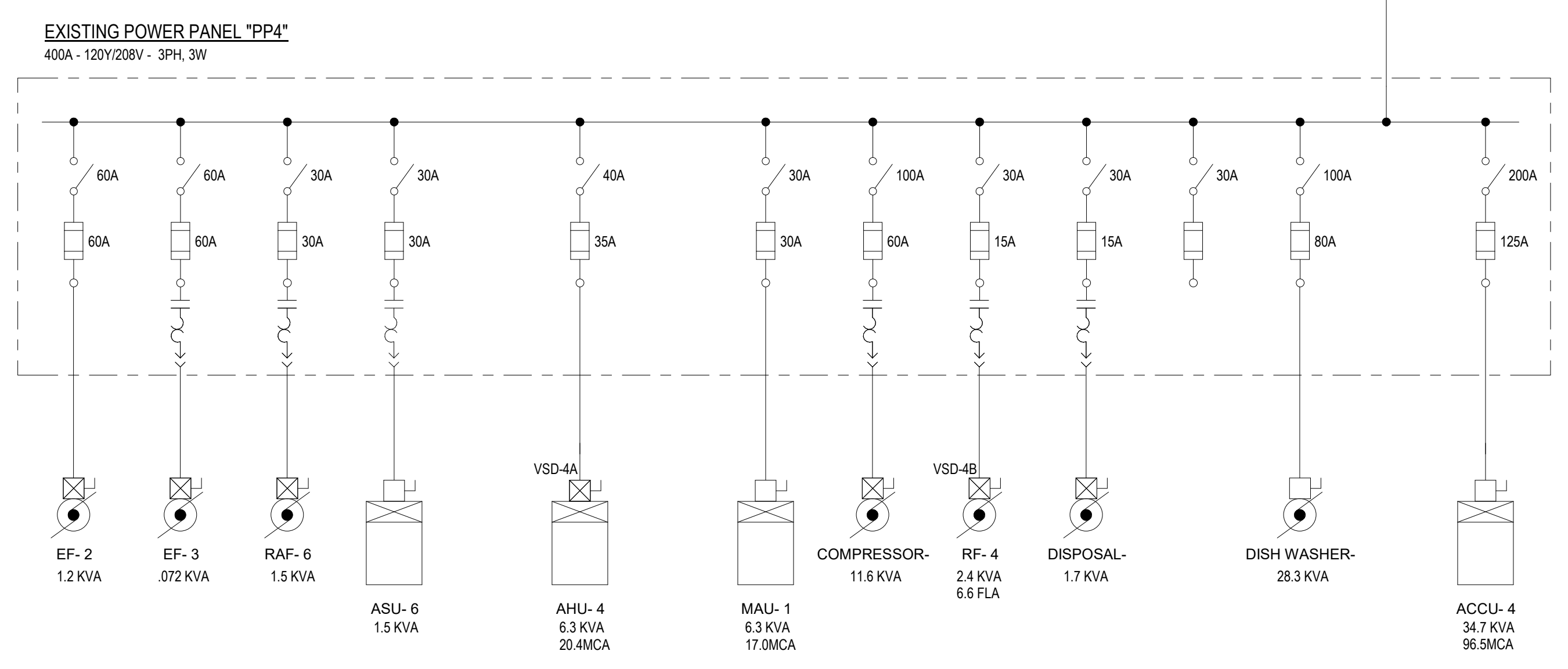
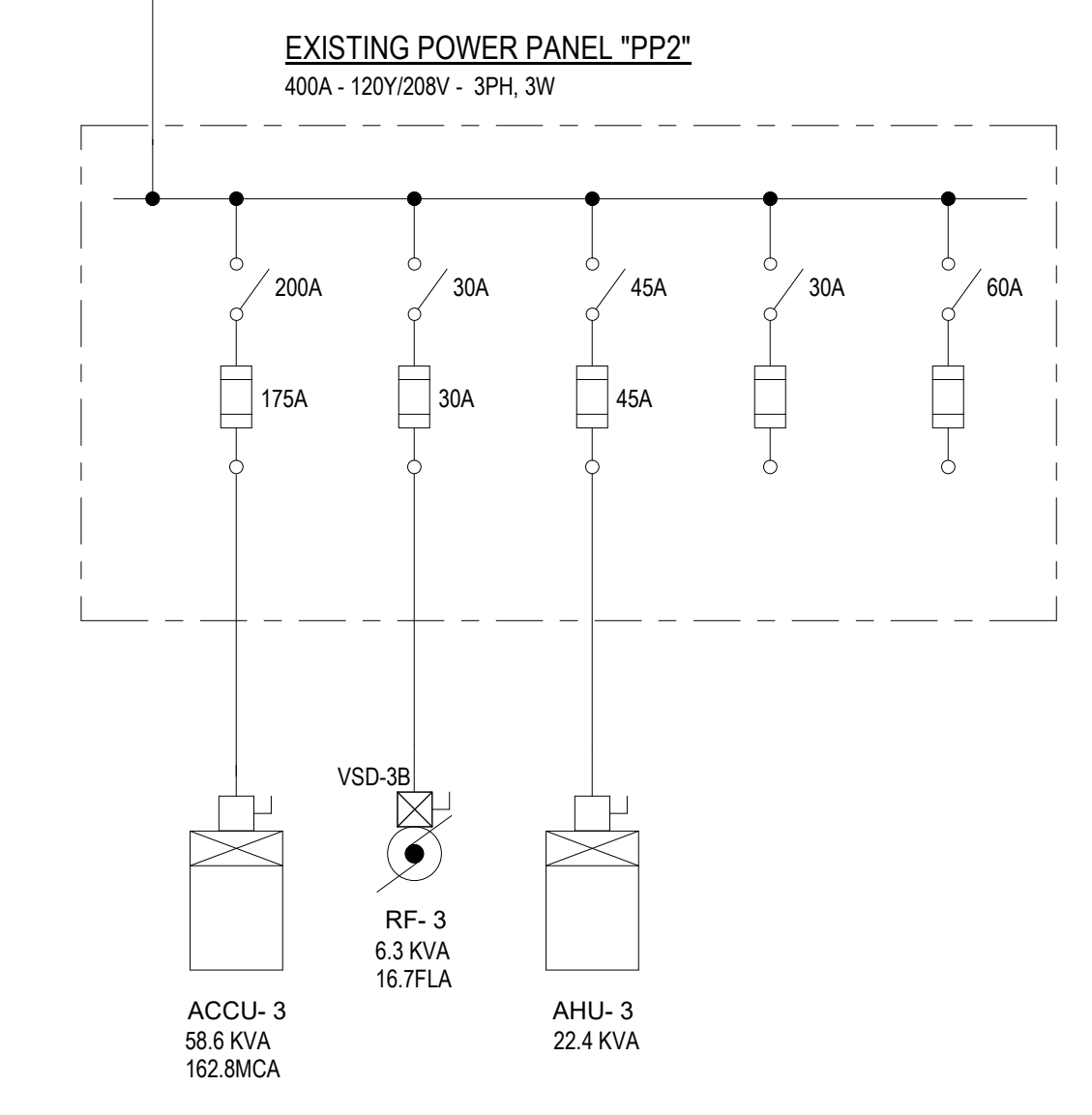
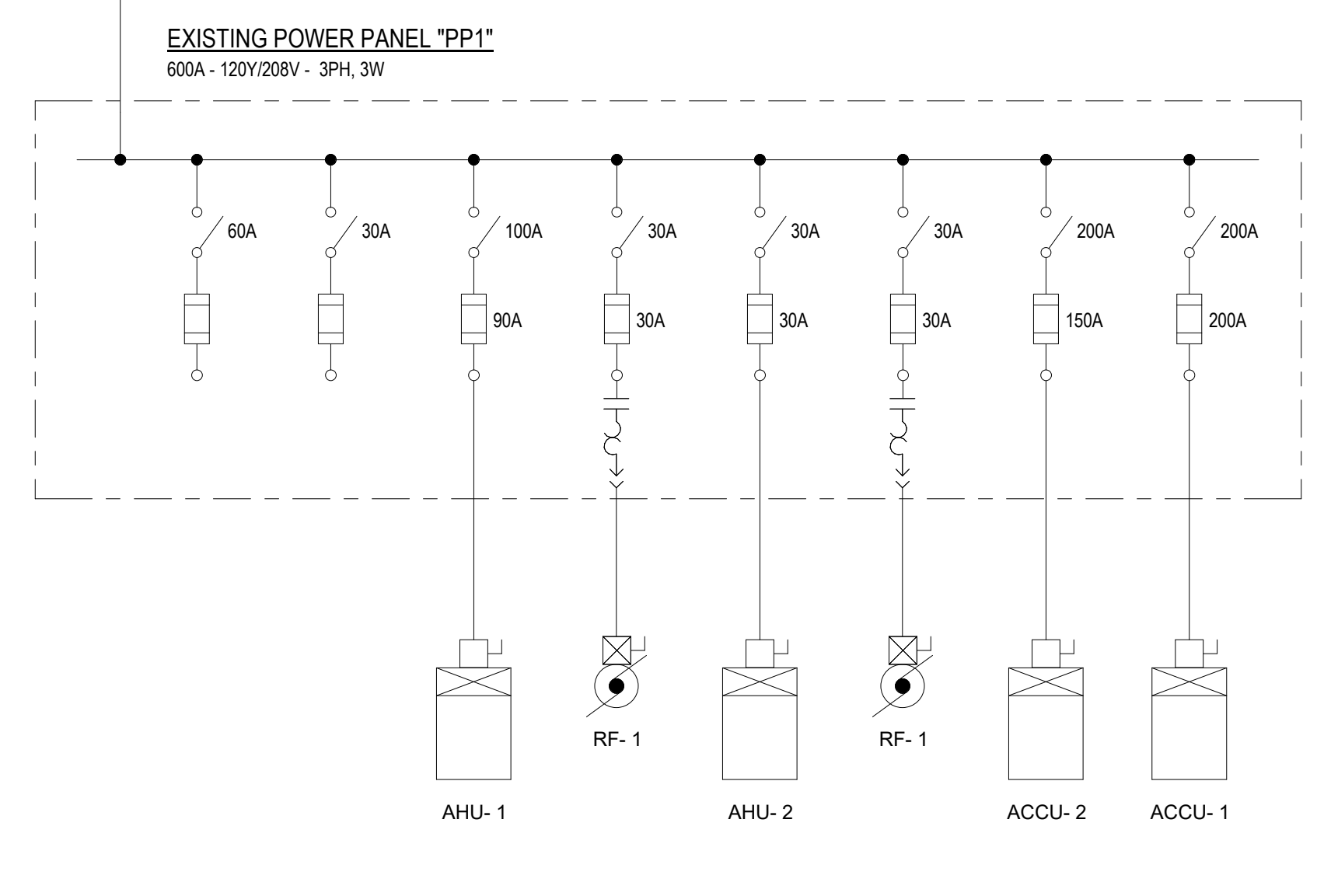
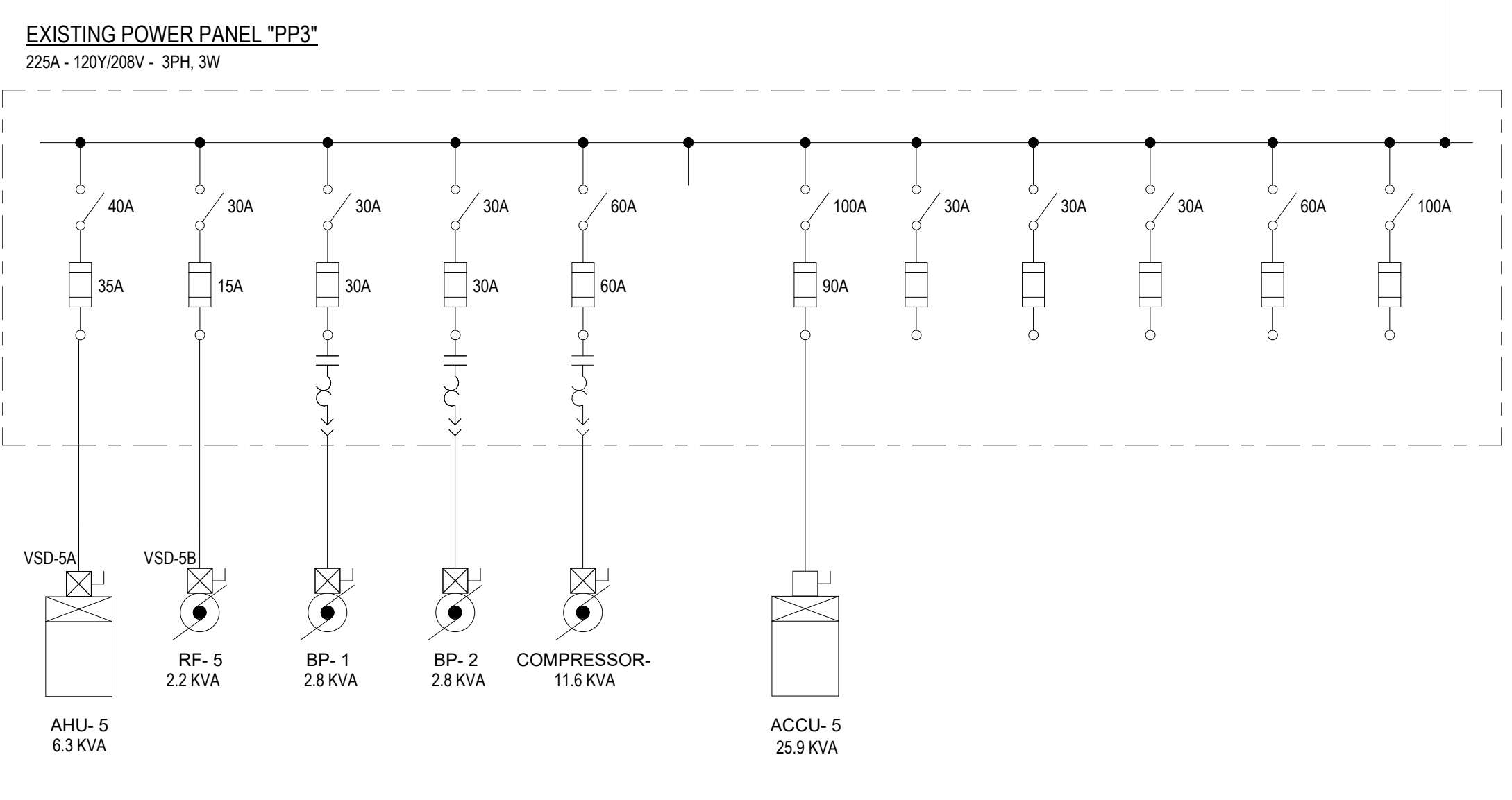
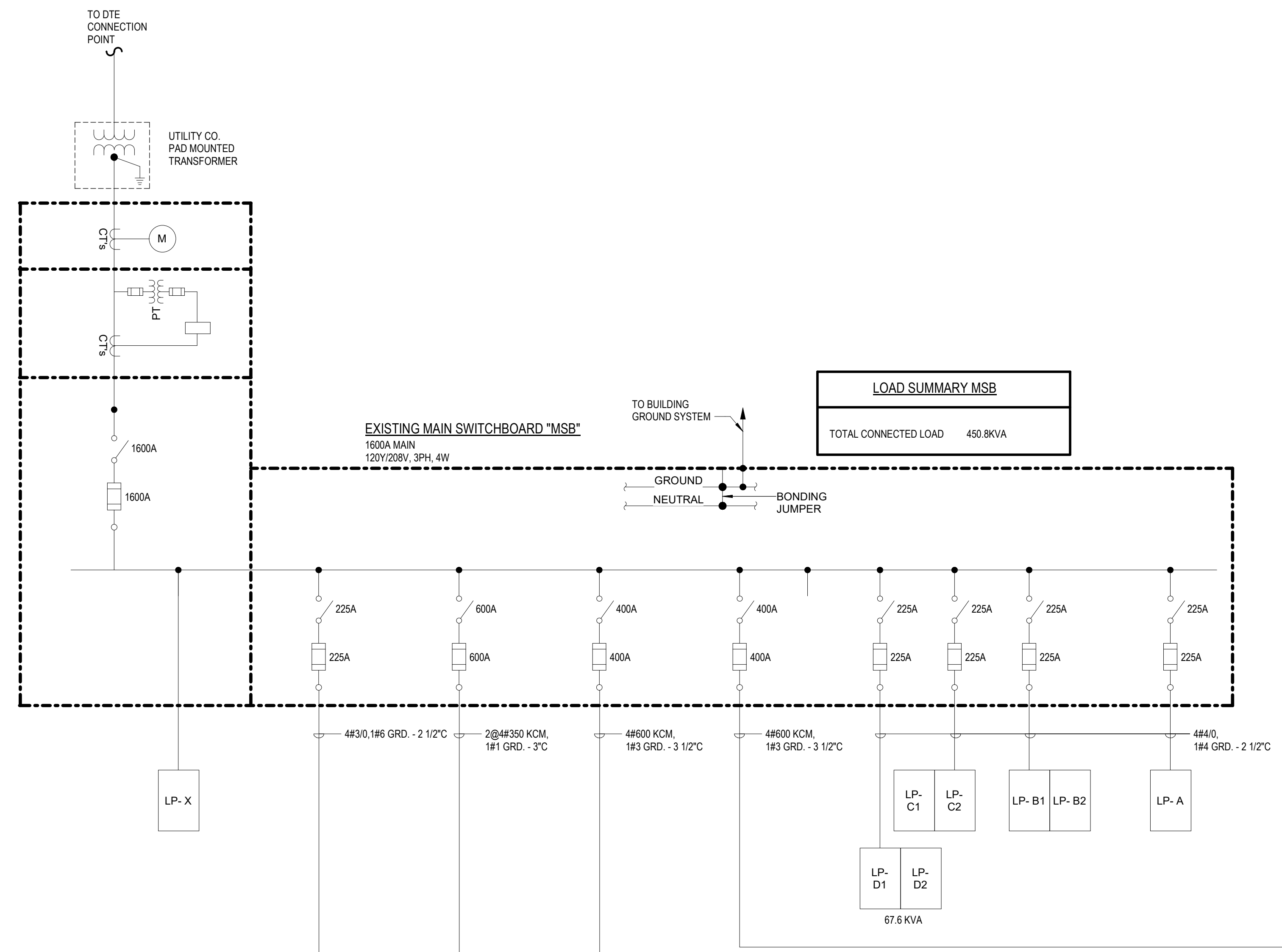
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## CONDUIT AND WIRE SCHEDULE

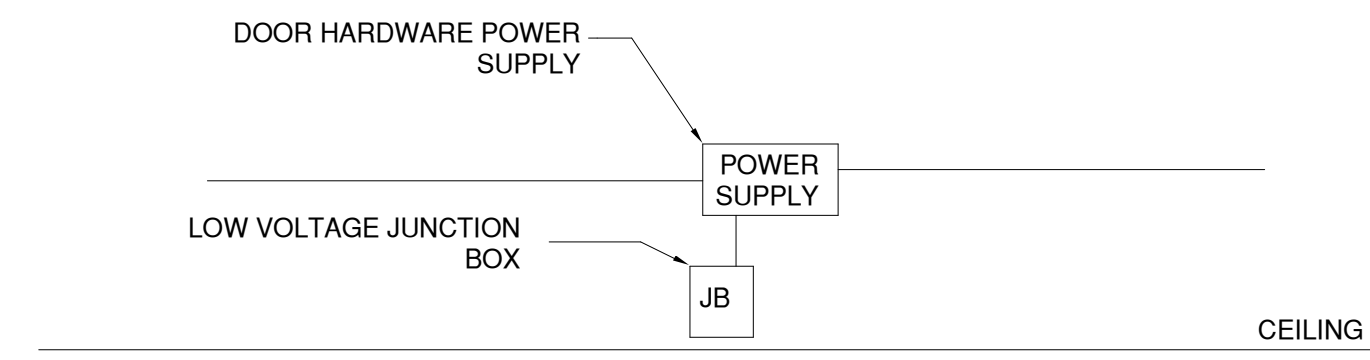
COPPER CONDUCTORS			
3 PHASE, 3 WIRE WITH GROUND		3 PHASE, 4 WIRE WITH GROUND	
TAG	FILL	TAG	FILL
20G	3#12, 1#12 GRD - 34°C	20NG	4#12, 1#12 GRD - 34°C
30G	3#10, 1#10 GRD - 34°C	30NG	4#10, 1#10 GRD - 34°C
40G	3#8, 1#8 GRD - 34°C	40NG	4#8, 1#8 GRD - 1°C
50G	3#6, 1#6 GRD - 1°C	50NG	4#6, 1#6 GRD - 1.14°C
70G	3#4, 1#4 GRD - 1.14°C	70NG	4#4, 1#4 GRD - 1.14°C
85G	3#3, 1#3 GRD - 1.14°C	85NG	4#3, 1#3 GRD - 1.14°C
95G	3#2, 1#2 GRD - 1.14°C	95NG	4#2, 1#2 GRD - 1.12°C
110G	3#1, 1#1 GRD - 1.12°C	110NG	4#1, 1#1 GRD - 2°C
150G	3#1/0, 1#1/0 GRD - 1.12°C	150NG	4#1/0, 1#1/0 GRD - 2°C
175G	3#2/0, 1#2/0 GRD - 2°C	175NG	4#2/0, 1#2/0 GRD - 2°C
200G	3#3/0, 1#3/0 GRD - 2°C	200NG	4#3/0, 1#3/0 GRD - 2.12°C
230G	3#4/0, 1#4/0 GRD - 2°C	230NG	4#4/0, 1#4/0 GRD - 2.12°C
255G	3#250 KCM, 1#4 GRD - 2°C	255NG	4#250 KCM, 1#4 GRD - 2.12°C
285G	3#300 KCM, 1#4 GRD - 2.12°C	285NG	4#300 KCM, 1#4 GRD - 3°C
310G	3#350 KCM, 1#3 GRD - 2.12°C	310NG	4#350 KCM, 1#3 GRD - 3°C
380G	3#500 KCM, 1#3 GRD - 3°C	380NG	4#500 KCM, 1#3 GRD - 3.12°C
420G	3#600 KCM, 1#3 GRD - 3°C	420NG	4#600 KCM, 1#3 GRD - 3.12°C
510G	2@3#250 KCM, 1#2 GRD - 2.12°C	510NG	2@4#250 KCM, 1#2 GRD - 2.12°C
620G	2@3#350 KCM, 1#1 GRD - 2.12°C	620NG	2@4#350 KCM, 1#1 GRD - 3°C
760G	2@3#500 KCM, 1#1/0 GRD - 3°C	760NG	2@4#500 KCM, 1#1/0 GRD - 3.12°C
800G	2@3#600 KCM, 1#1/0 GRD - 3°C	800NG	2@4#600 KCM, 1#1/0 GRD - 3.12°C
1000G	3@3#500 KCM, 1#2/0 GRD - 3°C	1000NG	3@4#500 KCM, 1#2/0 GRD - 3.12°C
1200G	3@3#600 KCM, 1#3/0 GRD - 3°C	1200NG	3@4#600 KCM, 1#3/0 GRD - 3.12°C
1600G	4@3#500 KCM, 1#4/0 GRD - 3°C	1600NG	4@4#500 KCM, 1#4/0 GRD - 3.12°C
2000G	5@3#600 KCM, 1#250 KCM GRD - 3.12°C	2000NG	5@4#600 KCM, 1#250 KCM GRD - 3.12°C

- NOTES:
- GROUND WIRES SHOWN IN CONDUIT AND WIRE SCHEDULE ARE EQUIPMENT GROUNDING CONDUCTORS SIZED PER NEC 250-122.
  - GROUNDING ELECTRODE CONDUCTORS FOR SERVICE ENTRANCE AND FOR TRANSFORMER NEUTRALS SHALL BE SIZED PER TABLE 250.66.
  - MAIN BONDING JUMPER AND SYSTEM BONDING JUMPER FOR MAIN SERVICE AND SEPARATELY DERIVED SYSTEMS SHALL BE SIZED PER NEC 250.28(D) AND TABLE 250.102(C)(1).
  - CONDUIT FILL BASED CONDUCTOR INSULATION TYPE AS INDICATED AND SHALL BE USED FOR RMC, FMC, EMT AND PVC SCHEDULE 40 ONLY. ALL OTHER CONDUITS SHALL BE SIZED PER NEC CHAPTER 9 ANNEX C.
  - CONDUCTOR AMPACITY IS BASED ON TEMPERATURE RATING INDICATED AND NEC TABLE 310.15(B)(16).

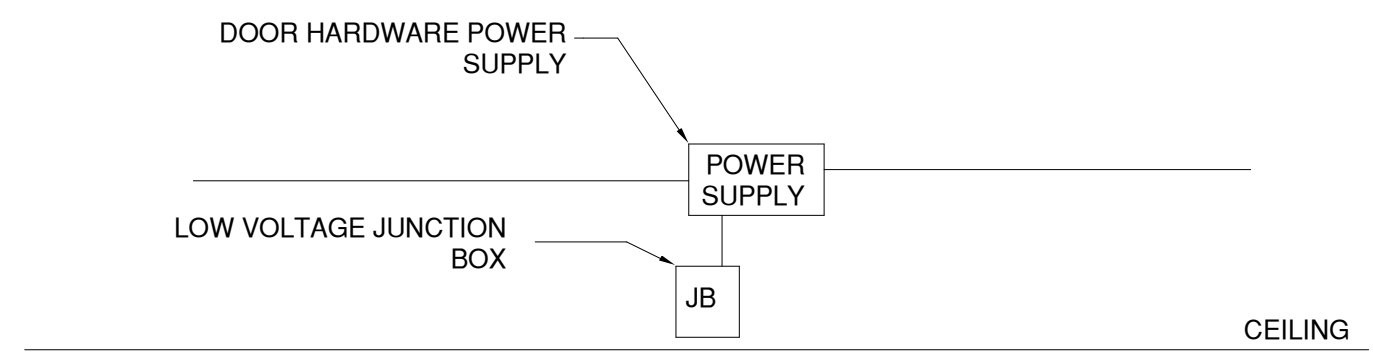


Project Administrator	A. Maurer
Project Designer	T. Morgan
Project Architect / Engineer	T. Morgan
Drawn By	T. Morgan
Q.M. Review	T. Carron
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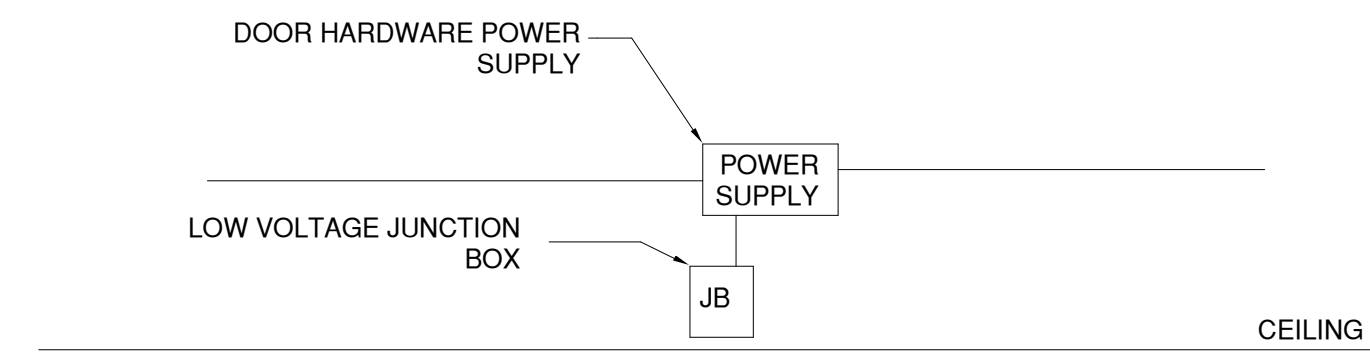




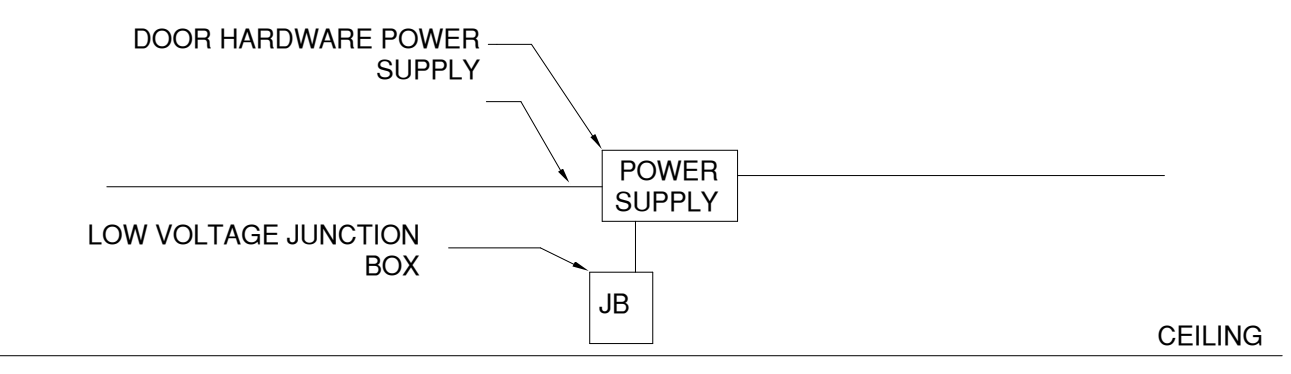
5 SINGLE DOOR ENTRANCE SIDE  
NO SCALE



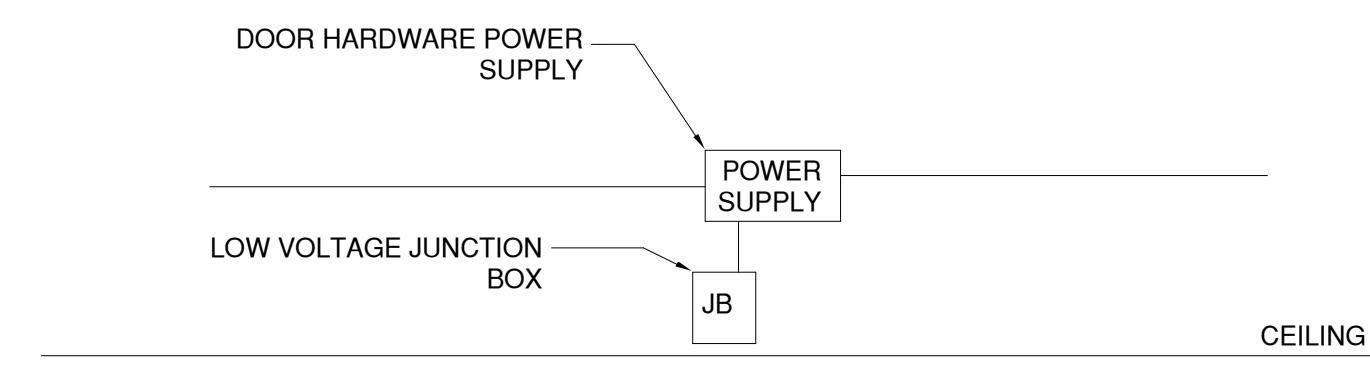
4 SINGLE DOOR INTERIOR SIDE  
NO SCALE



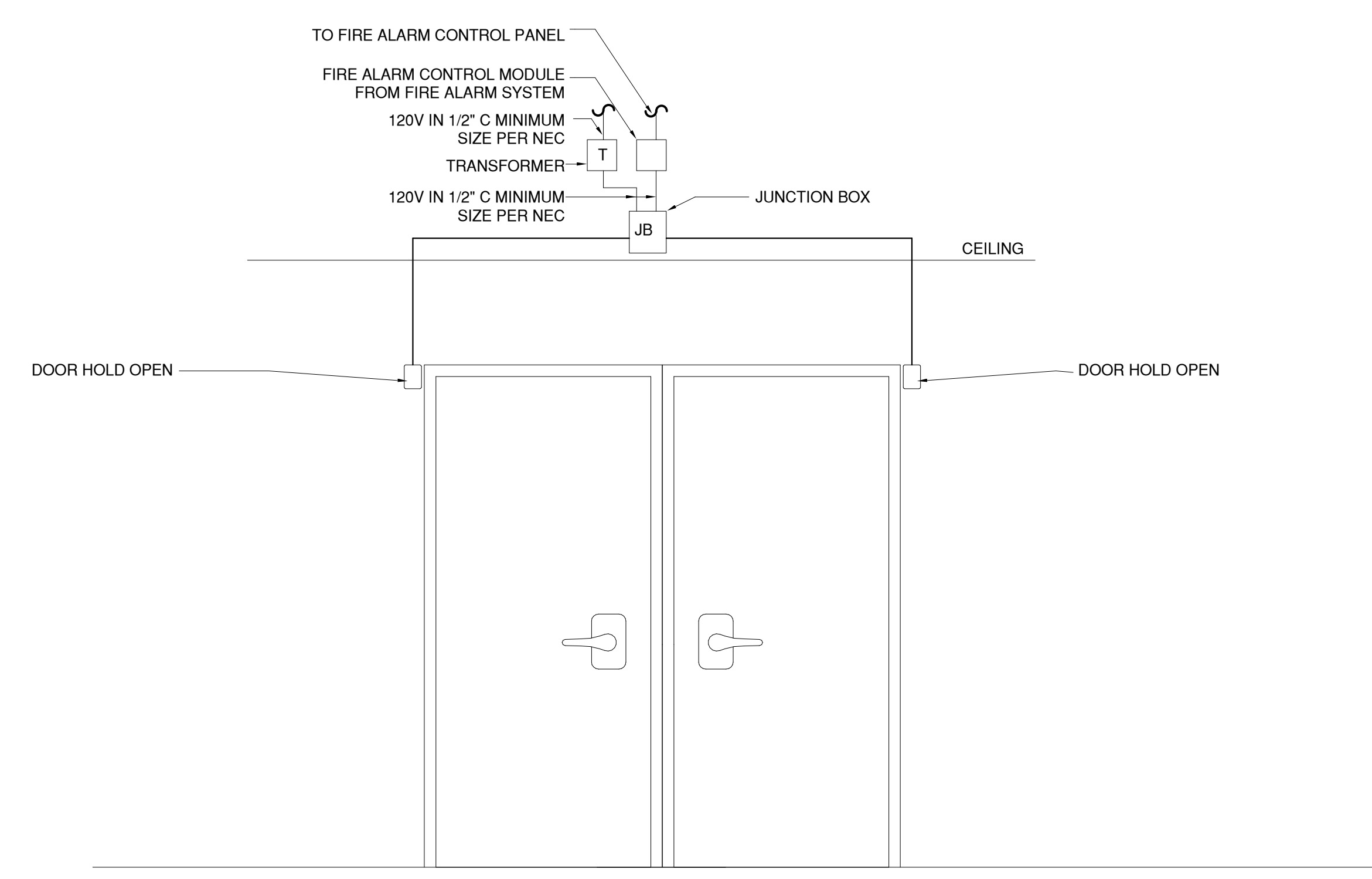
3 SINGLE DOOR INTERIOR SIDE  
NO SCALE



2 DOUBLE DOOR ENTRANCE SIDE  
NO SCALE



1 DOUBLE DOOR ENTRANCE SIDE  
NO SCALE



6 DOUBLE DOOR - DOOR HOLD OPEN  
NO SCALE

Project Title



Van Buren Public Schools

## Savage & Tyler Elementary Schools Secured Entry Renovations

Key Plan

Project Administrator	A. Maurer
Project Designer	T. Morgan
Project Architect / Engineer	T. Morgan
Drawn By	T. Morgan
Q.M. Review	T. Carron
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Drawing Scale	No Scale

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Details