

FLOODZONE

THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL 26163C0218E, DATED FEBRUARY 02, 2012.

PARCEL SOILS TYPE

MFA METAMORA-PEWAMO COMPLEX, 0 TO 3 PERCENT SLOPES. Cu CUT AND FILL LAND. SeA SELFDRIDGE LOAMY SAND, 0 TO 3 PERCENT SLOPES PER USDA SOIL SURVEY OF SOUTHEAST MICHIGAN.

LAND AREA

THE SUBJECT PROPERTY CONTAINS
TOTAL 122,376 S/F
ROAD 5,601 S/F
NET 116,775 S/F - 2.68 AC.

GENERAL NOTES

- PICK UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- PHASING OF THE PROJECT IS NOT PROPOSED.
- THERE ARE NO WETLANDS LOCATED ON SUBJECT PROPERTY.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY MAINTAINED IN A CLEARLY VISIBLE CONDITION.
- CONTRACTOR MUST PICK UP ANY FLOW FROM OFFSITE THAT CONTRIBUTES TO THE SITE.

ZONING & SETBACKS

SUBJECT PROPERTY ZONED IND-1 (LIGHT INDUSTRIAL)

ADJACENT PROPERTY ZONING:

- NORTH IND-1
- EAST IND-1 & IND-2
- SOUTH IND-1
- WEST IND-2

SCHEDULE OF REGULATIONS FOR IND-1 ZONING

LOT SIZE NONE
BUILDING HEIGHT REQ./PRO. 40'/24.2''

REQ.SETBACKS

FRONT 20'
REAR 15'
SIDES 10', TOTAL 25'

PRO.SETBACKS

FRONT 20.3'
REAR 474.6'
SIDES 10.3',99.7', TOTAL 111.0'

PARKING REQ.

REQ=1 for each 2 employees, computed on the basis of the greatest number of persons employed at any one period during the day or night=12
TRUCK DRIVER/2=6
PROVIDED=7 SPACES

DETERMINATION SYSTEM DESIGN

TOTAL AREA SITE = 2.68 AC. ACRES
AREA OF DEVELOPED SITE = 0.91 AC. ACRES
C(BUILDING) = 0.95(0.0826 ACR)
C(PAVEMENT) = 0.95(0.591 ACR)
C(LAWN) = 0.236 ACRES
SEMI-PERVIOUS: LAWNS, PARKS, PLAYGROUNDS;
HYDROLOGIC SOIL GROUP A 0.15(1.106 ACR)
HYDROLOGIC SOIL GROUP B 0.20(0 ACR)
HYDROLOGIC SOIL GROUP C 0.25(0.89 ACR)
HYDROLOGIC SOIL GROUP D 0.30(0 ACR)
A(LAWN) = 0.236 ACRES, A(PAV. + BUL.) = 0.6736 ACRES
C(AVE.) = 0.236 X 0.15 + 0.673 X 0.95 / 0.91
C(AVE.) = 0.74

T = 10 minutes (site is less than 2 acres; use a default time of concentration of 10 minutes)

$I = 101 / (12.33 + T)^{0.778}$

$I = 101 / (12.33 + 10)^{0.778} = 7.4$ IN/HR

Calculate Channel Protection Volume Control (CPVC) Required Volume

$V_{CPVC} = A \times C \times 3,630$ [cubic feet]

$V_{CPVC} = 0.91 \times 0.74 \times 3,630 = 2,444$ c.f. (CPVC waived for this site due to poor soils)

Calculate Channel Protection Rate Control (CPRC) Required Volume (a/k/a Extended Detention)

$V_{CPRC} = A \times C \times 6897$ [cubic feet]

$V_{CPRC} = 0.91 \times 0.74 \times 6897 = 4,644$ cuf

Calculate 100-year Detention Volume

100-yr Allowable Release Rate (Qallow): Qallow = 1.1005 - 0.2071 (A) [cfs/acre] (maximum = 1.0 cfs/acre)

100-yr Allowable Release Rate (Qallow): Qallow = 1.1005 - 0.2071 ln(0.91) = 0.912 cfs/acre

100-yr Peak Allowable Discharge (Qp): Qp = Qallow X [cfs]

100-yr Peak Allowable Discharge (Qp): Qp = 0.912 x 0.91 = 0.83 CU.F/S

100-yr Peak Pond Inflow (Qi): Qi = Xp X [cfs]

100-yr Peak Pond Inflow (Qi): Qi = 0.74 x 7.4 x 0.91 = 4.98 CU.F/S

100-yr Runoff Volume (Vr): Vr = 18,900 X C X A [cubic feet]

100-yr Runoff Volume (Vr): Vr = 18,900 x 0.74 x 0.91 = 12,727 CU.F

Storage Ratio (Vr/Vs): (Vs/Vr) = 0.206 - 0.15 ln(Qo/Qi)

Storage Ratio (Vr/Vs): (Vs/Vr) = 0.206 - 0.15 ln(0.83/4.98) = 0.474

100-yr Required Storage Volume (Vs): Vs = Vr x STORAGE RATIO

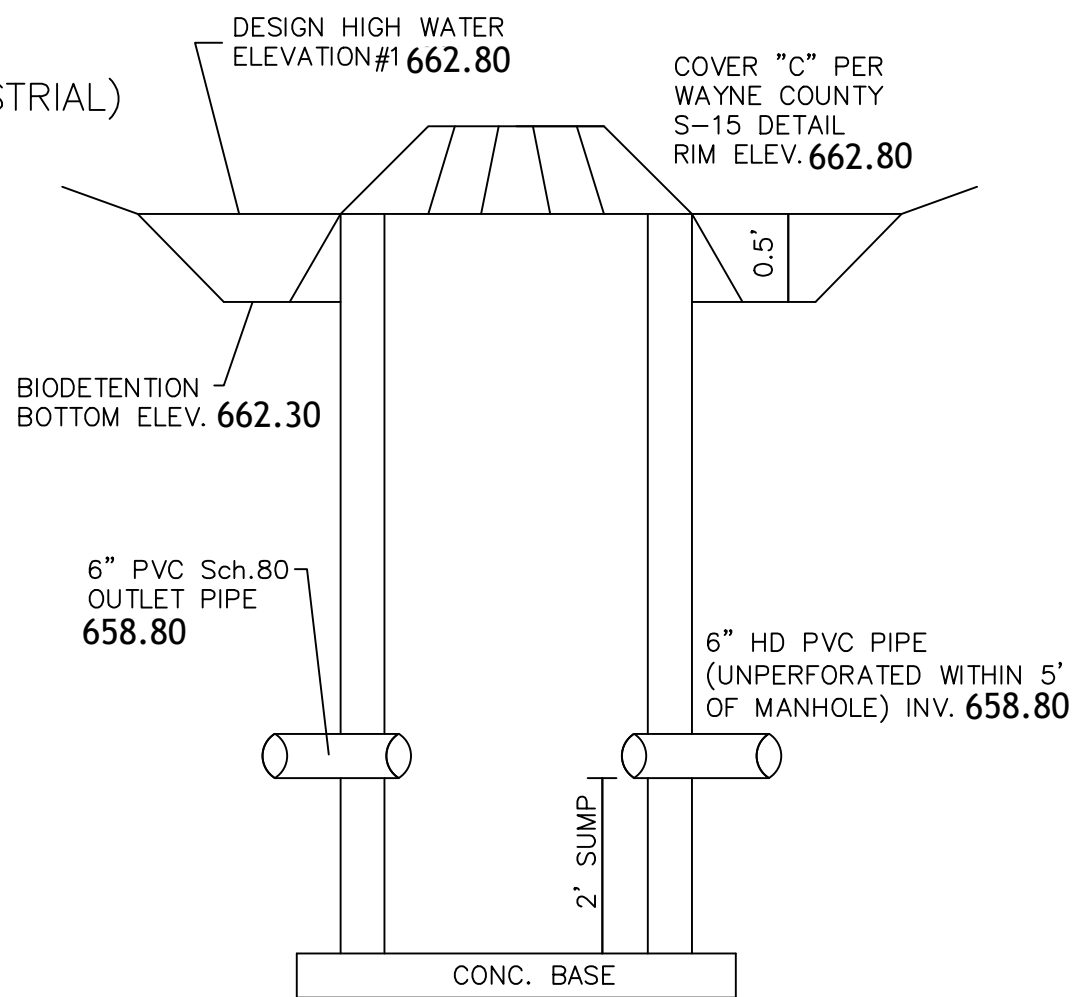
100-yr Required Storage Volume (Vs): Vs = 12,727 x 0.474 = 6,043 CU.F

The Site Plan must be designed to accommodate the following volumes:

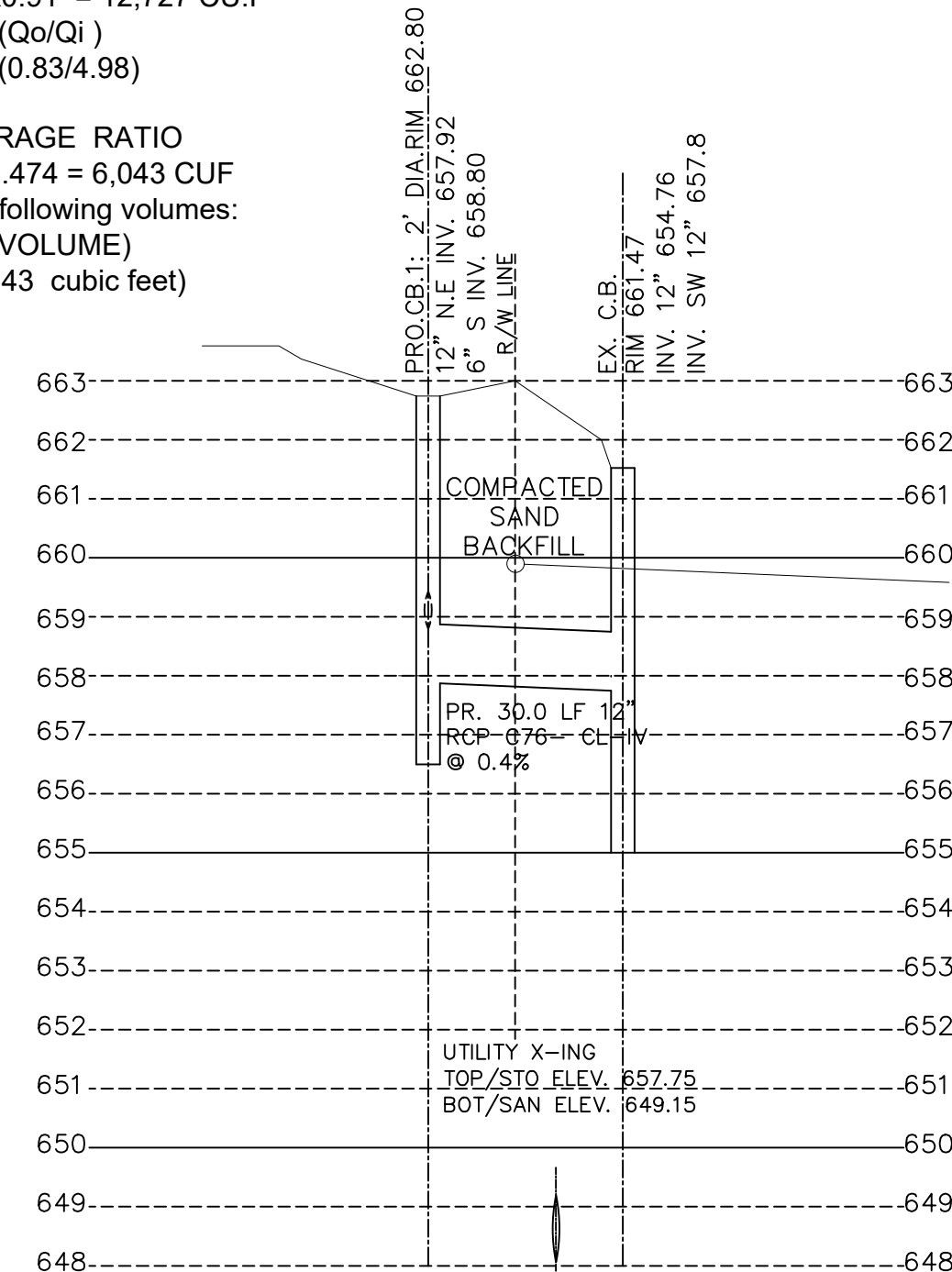
VS-CPVC=6043-2444=3599 CF (FLOOD CONTROL VOLUME)

IF FLOOD CONTROL V. < CPRC (Flood Control: 6043 cubic feet)

- CPVC: 2,444 cubic feet
- CPRC: 4,644 cubic feet
- Flood Control: 6,043 cubic feet

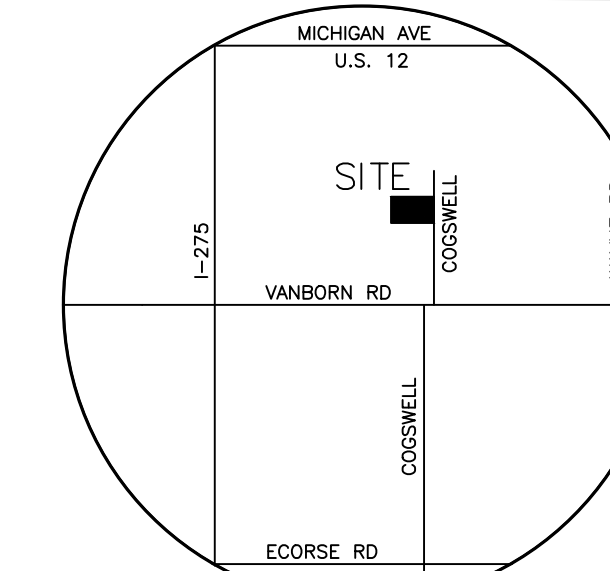


2' DIA. BIORETENTION EQUALIZATION M/H
NOT TO SCALE

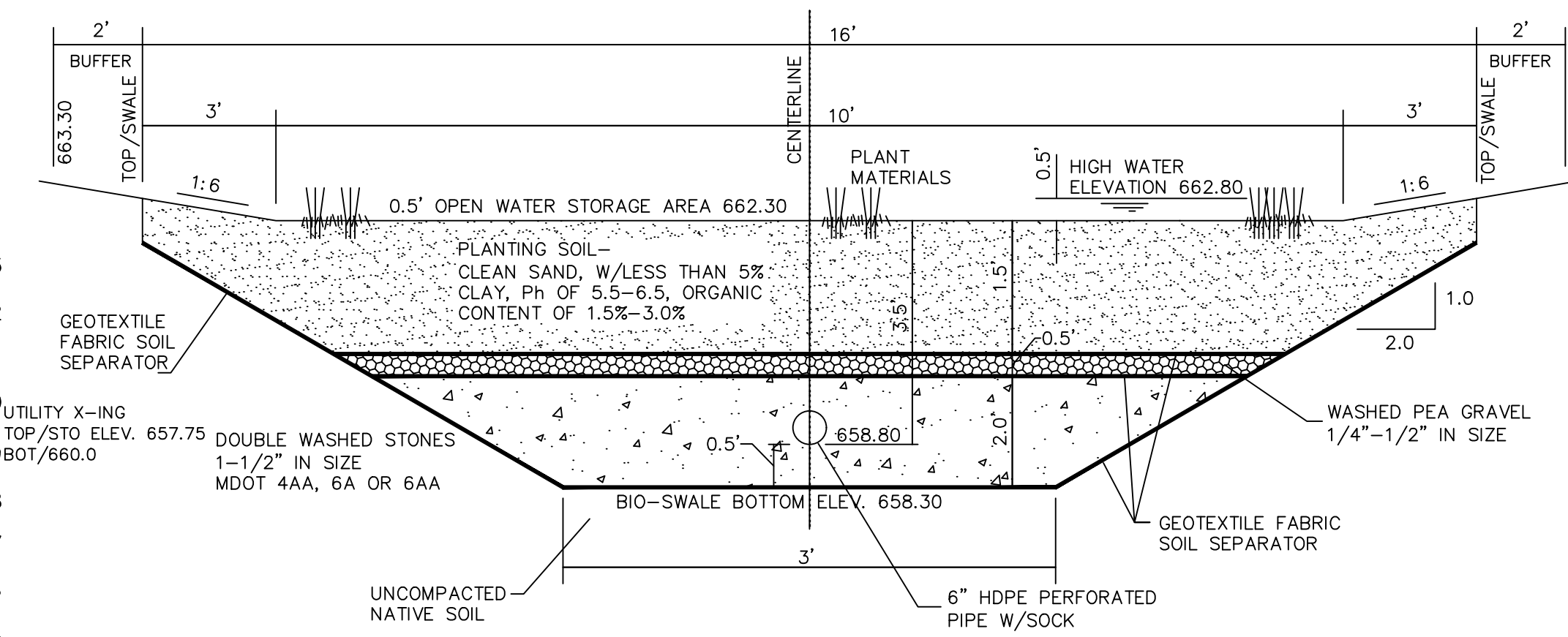


STORM PROFILE
SCALE: 1" = 30' HORIZONTAL
1" = 3' VERTICAL

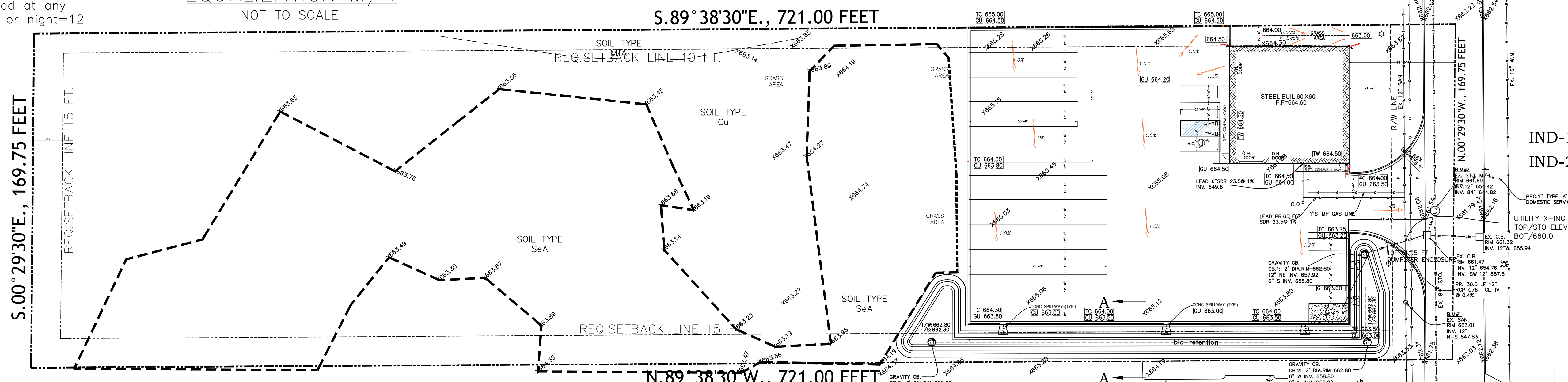
PROVIDED VOLUME BY RAIN GARDEN					
ELEVATION (FT)		AREA (SQ.FT)	HEIGHT (FT)	VOIDS RATIO	VOLUME (CU.FT.)
662.80	TOP OF WATER	6030	0.00	0.00	0.00
6" OF WATER					
662.30	TOP OF SOIL	5420	0.50	1.00	2861.14
36" OF PLANTING SOILS AND GRAVEL LAYERS					
665.80	INVERT OF PIPE	3900	3.50	0.20	3247.44
		TOTAL RAIN GARDEN VOLUME (C.F.) =			6109
PROVIDED VOLUME OF		6109	> REQUIRED VOLUME OF		6043 O.K.



VICINITY MAP
NOT TO SCALE

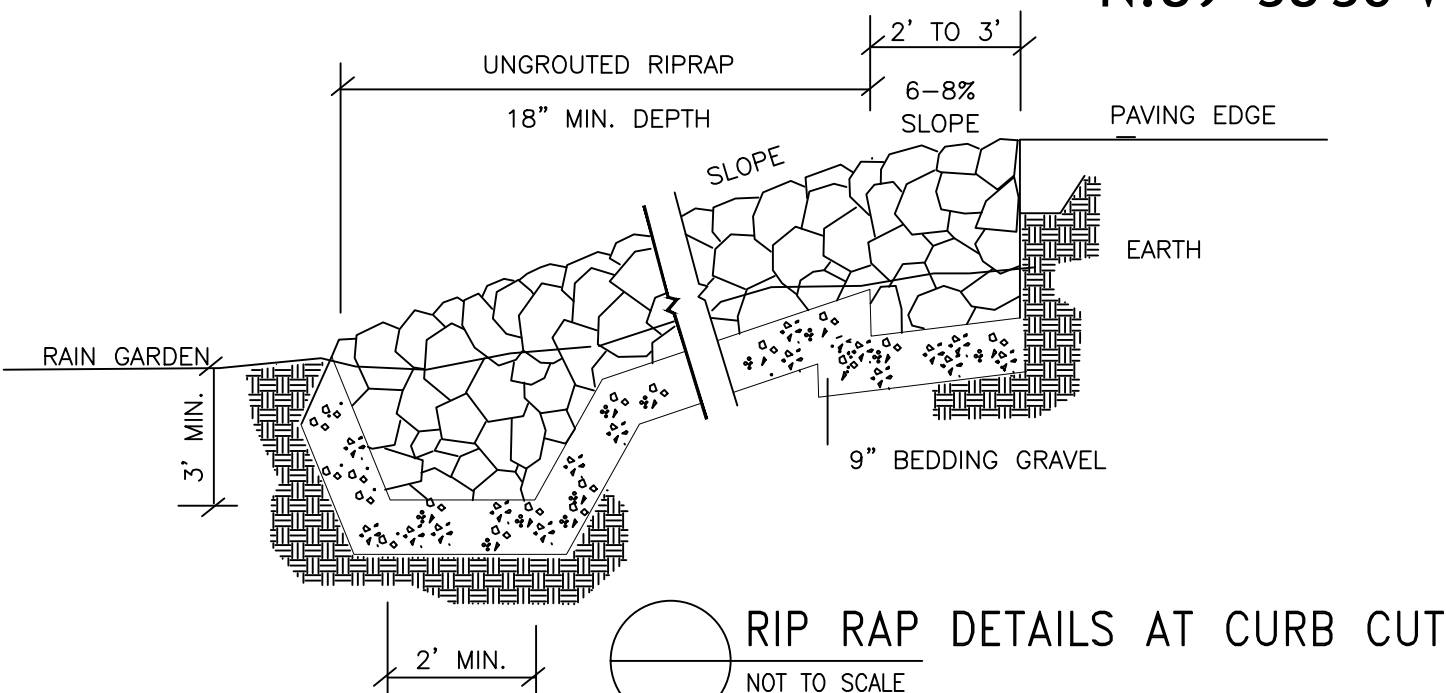


BIOSWALE #1 DETAIL
NOT TO SCALE



LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE CITY OF WAYNE, COUNTY OF WAYNE, STATE OF MICHIGAN, BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 2 SOUTH, RANGE 9 EAST; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT N.00°29'30\"/>



SECTION A-A
NOT TO SCALE

ENGINEERING SERVICES INC.
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32190 SCHOOLCRAFT ROAD,
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(734) 525-7330
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NOTE:

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CONSULTANTS

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1-800-482-7171
(TOLL FREE)

I hereby certify that this plan and specification was prepared by me or under my direct supervision and that I am a duly registered Architect or Engineer under the Laws of the State of Michigan by my hand and seal.

HAKIM SHAKIR
ENGINEER
No. 24064

G SIDHU TRUCKING
VACANT PROPERTY
PARCEL #55-011-99-0010-701
5300 COGSWELL ROAD
CITY OF WAYNE, MI 48184

PROPERTY OWNER
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MARK	DATE	DESCRIPTION
	09/04/23	REVISE
	08/30/23	REVISE
	08/22/23	REVISE
	08/21/23	REVISE
	08/08/23	REVISE
	07/25/23	REVISE
	04/22/23	OWNER REQUEST

PROJECT NO:
MODEL FILE:
DRAWN BY: HAIDER BAJARI
CHK'D BY: HAKIM SHAKIR
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SHEET TITLE
DRAINAGE PLAN

SCALE: NOTED
SHEET No. **C-01**

SCALE: 1" = 30'-0"

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ADJACENT PROPERTY ZONING:

NORTH IND-1
EAST IND-1 & IND-2
SOUTH IND-1
WEST IND-2

GRAVITY CB.
CB1: 2" DIA. RIM 661.5
12" N.E. INV. 657.92
6" N. INV. 657.5

SCHEDULE OF REGULATIONS FOR IND-1 ZONING

LOT SIZE NONE
BUILDING HEIGHT REQ./PRO. 40'/24.2''

REQ. SETBACKS

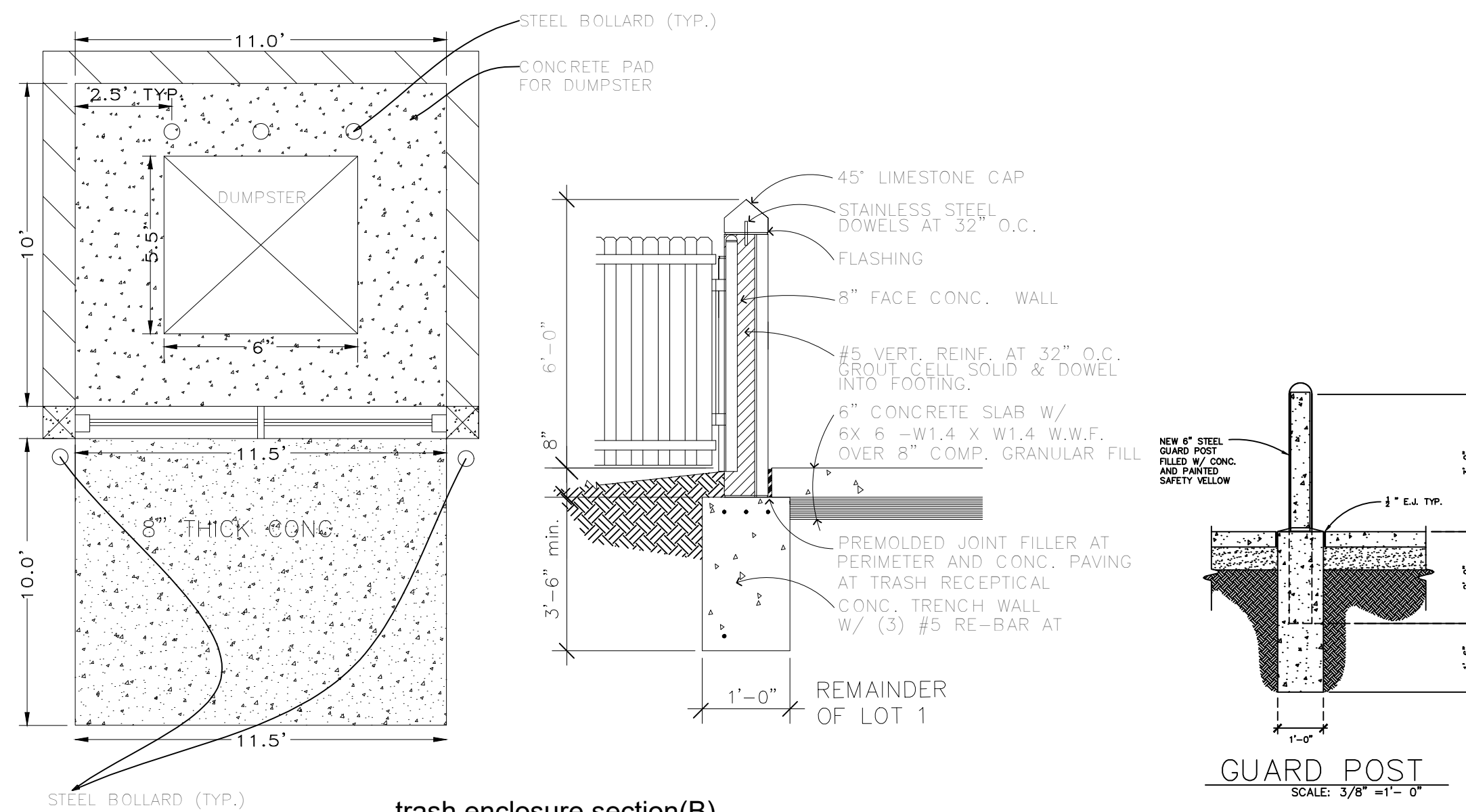
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SIDES 10', TOTAL 25'

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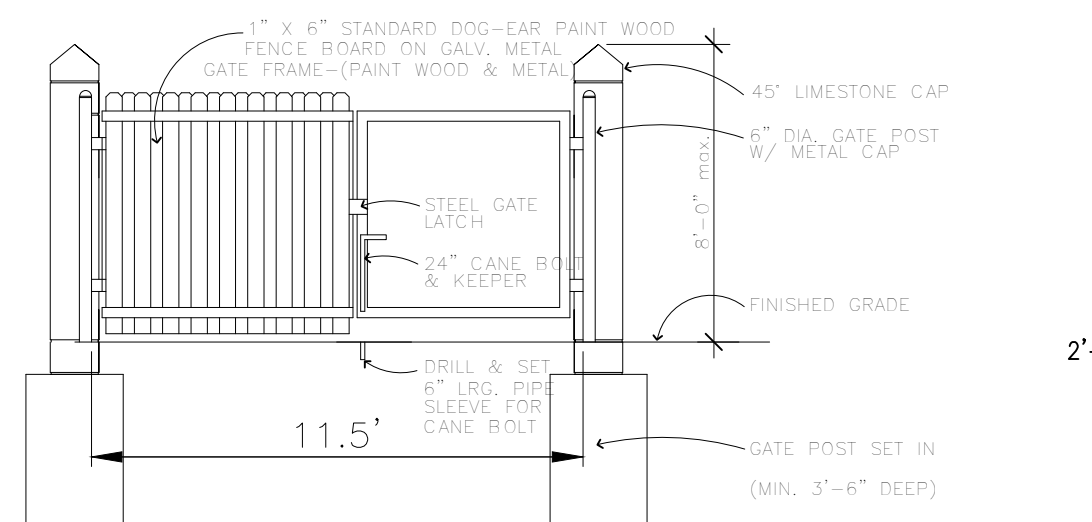
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SIDES 10.3', 99.7', TOTAL 111.0'

PARKING REQ.

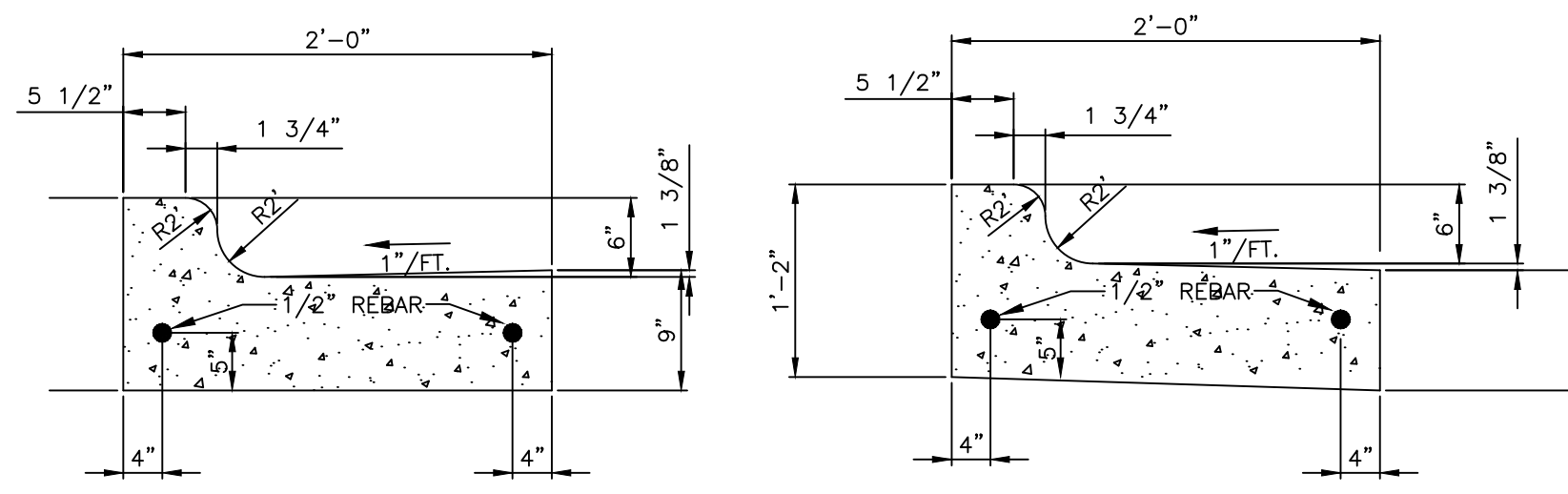
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PROVIDED=7 SPACES



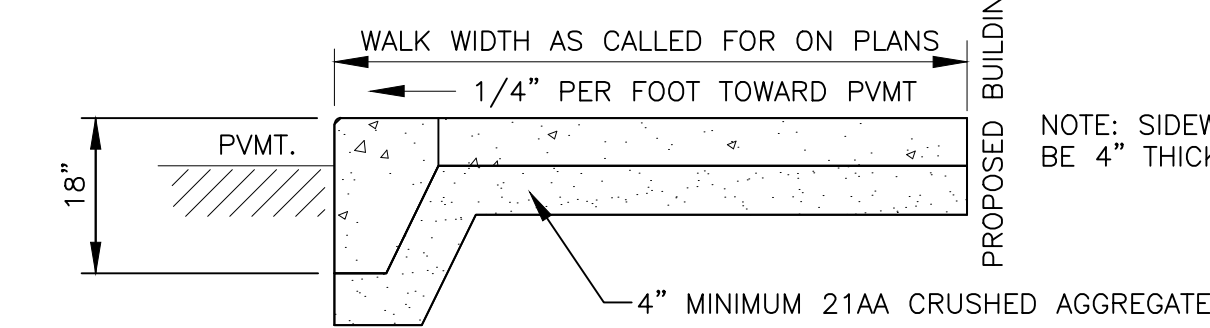
trash enclosure section (B)
no scale
USE SAME BUILDING MATERIAL FOR TRASH ENCLOSURE



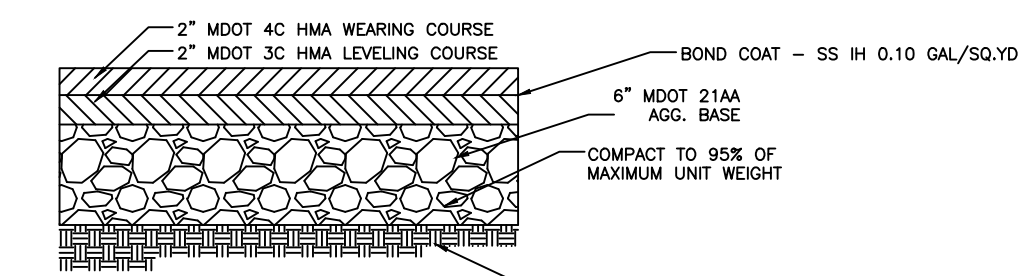
trash enclosure detail
no scale
NOTE: TRASH ENCLOSURE MUST BE COMPOSED OF THE SAME MASONRY MATERIAL AS THE BODY OF THE BUILDING



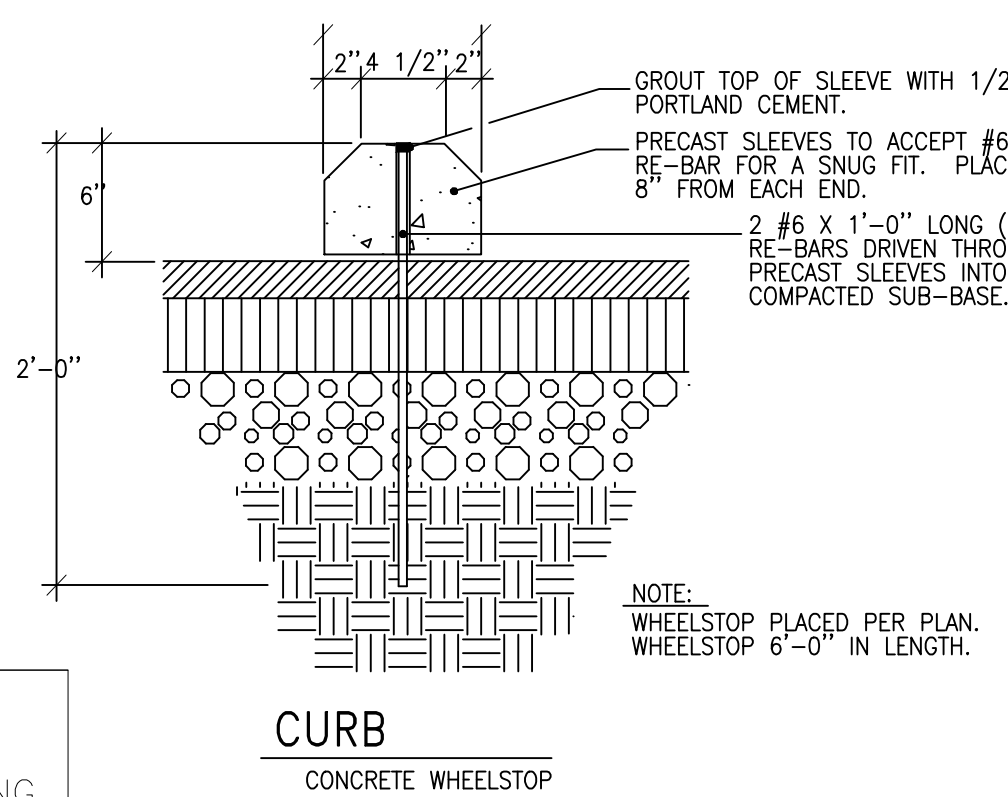
PITCH IN CURB
PITCH OUT (REVERSED) CURB
CURB & GUTTER DETAIL F-4
NOT TO SCALE



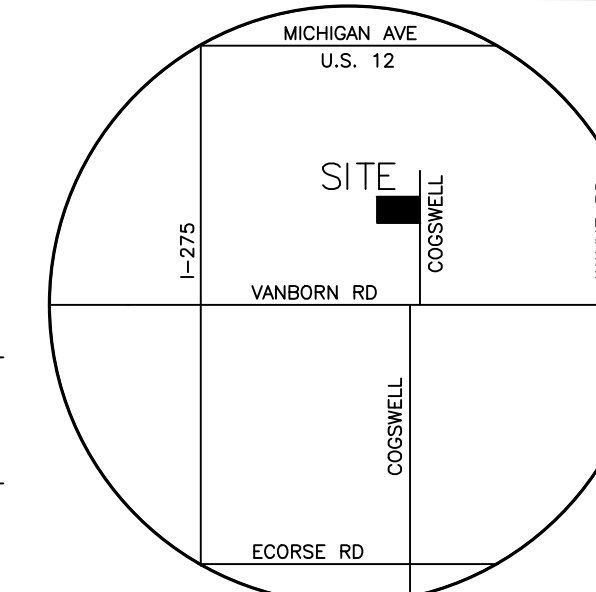
THICKENED EDGE CONCRETE SIDEWALK
NO SCALE



STANDARD DUTY HMA PAVEMENT DETAIL (ON-SITE)
NOT TO SCALE



CURB
CONCRETE WHEELSTOP
IND-1
EXISTING DETENTION BASIN



VICINITY MAP
NOT TO SCALE

STORM SEWER		
	QNTY.	UNITS
12" RCP C76- CL-IV	30	LF.
6" PVC	265	LF.
2" DIA CATCH BASIN	3	NOS.

SANITARY SEWER		
	QNTY.	UNITS
6" SDR 23.5	65	LF.
6" CLEAN OUT	1	NOS.

WATERMAIN		
	QNTY.	UNITS
1" WATERMAIN	83	LF.

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CONSULTANTS

3 WORKING DAYS
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I hereby certify that this plan and specification was prepared by me or under my direct supervision and that I am a duly registered Architect or Engineer under the Laws of the State of Michigan by my hand and seal.

HAKIM SHAKIR
ENGINEER
No. 24064

G SIDHU TRUCKING

VACANT PROPERTY
PARCEL #55-011-99-0010-701
5300 COGSWELL ROAD
CITY OF WAYNE, MI 48184

PROPERTY OWNER
SDUKHDEV SINGH
8385 OPAL DRIVE
WESTLAND, MI 48185

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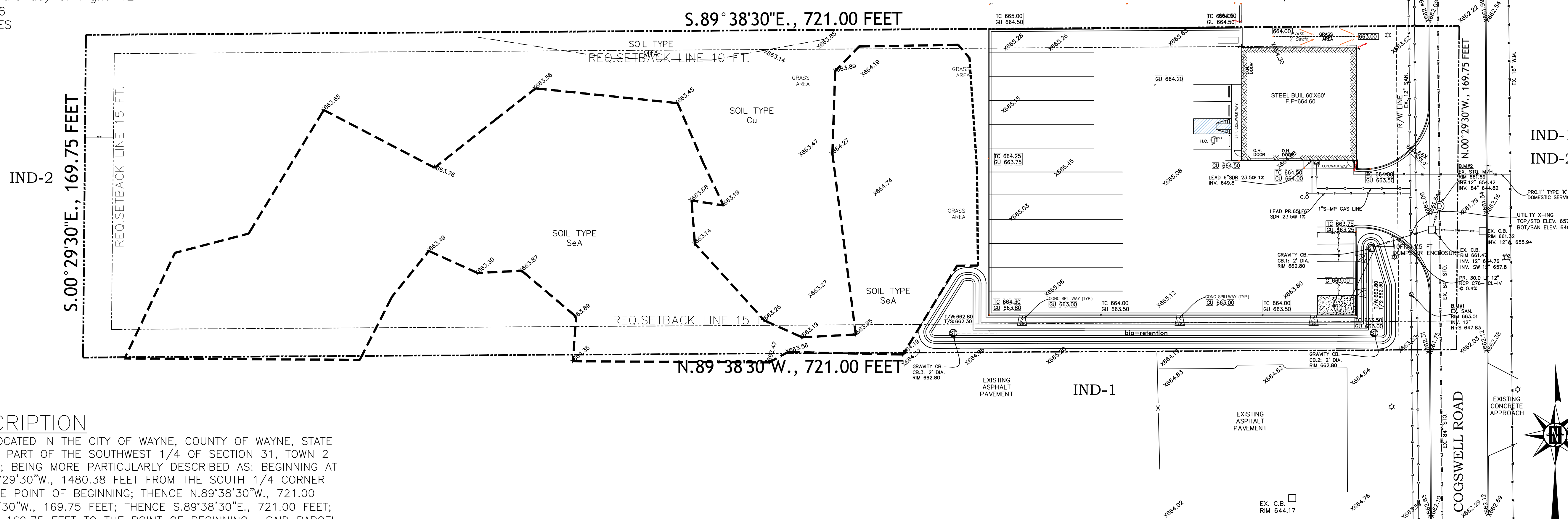
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CHK'D BY: HAKIM SHAKIR
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SHEET TITLE

GRADING PLAN

SCALE: NOTED
SHEET No. **C-02**

SCALE: 1"=30'-0"

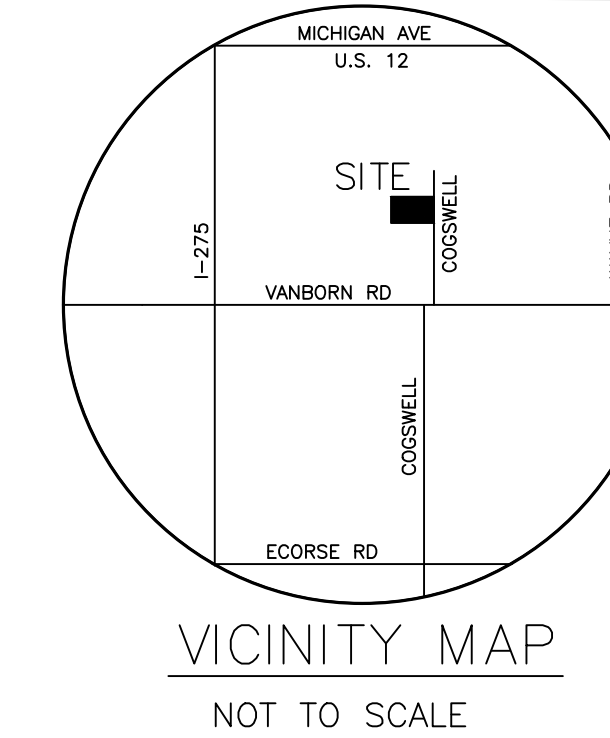
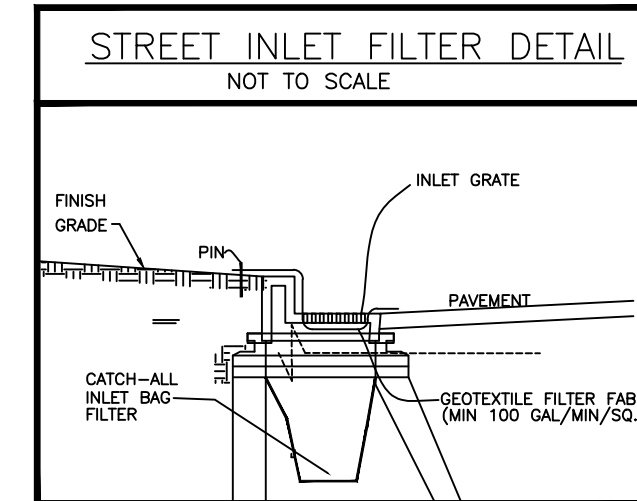
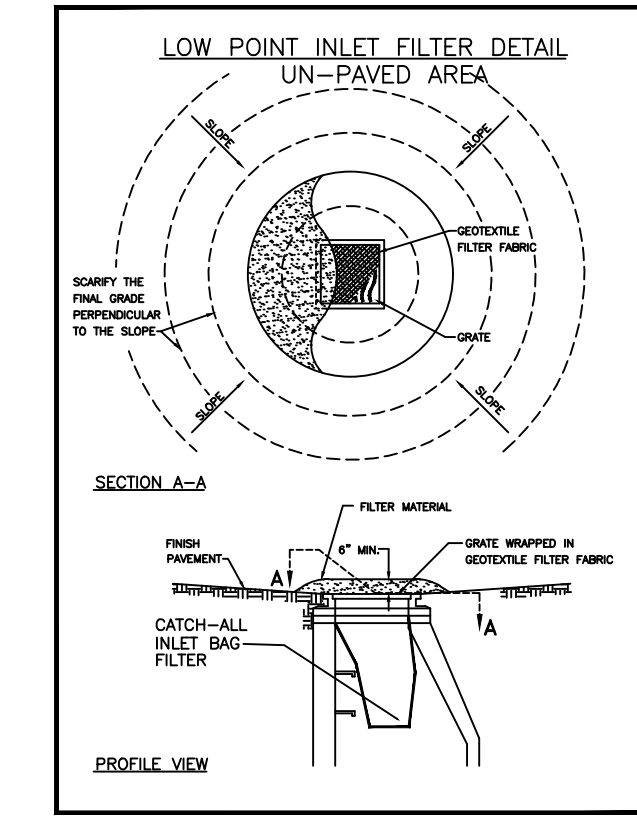
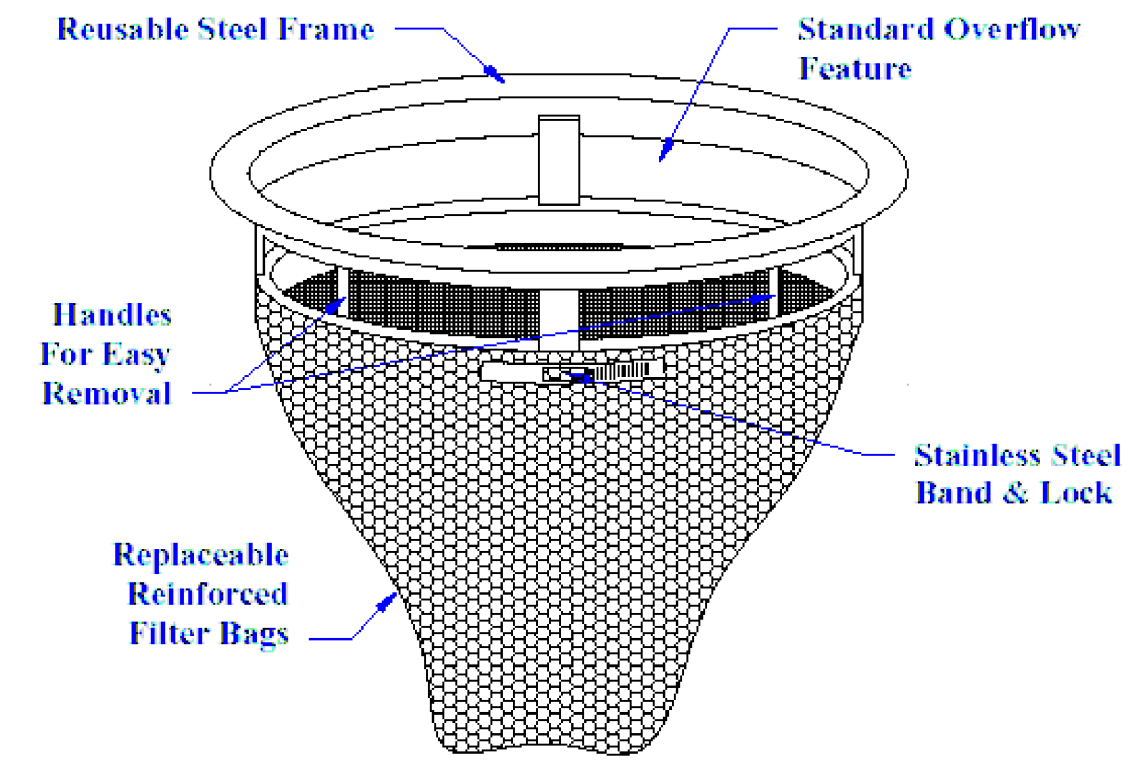
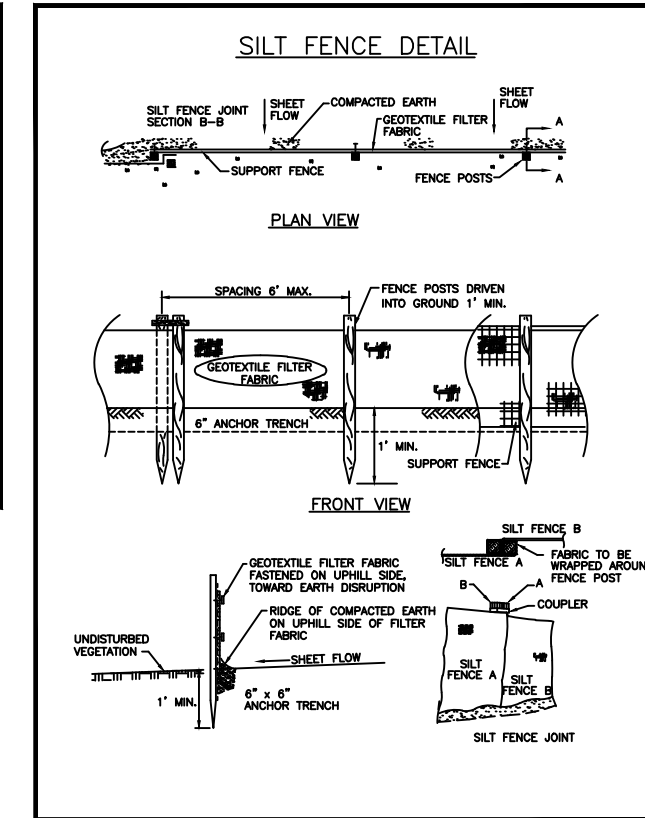
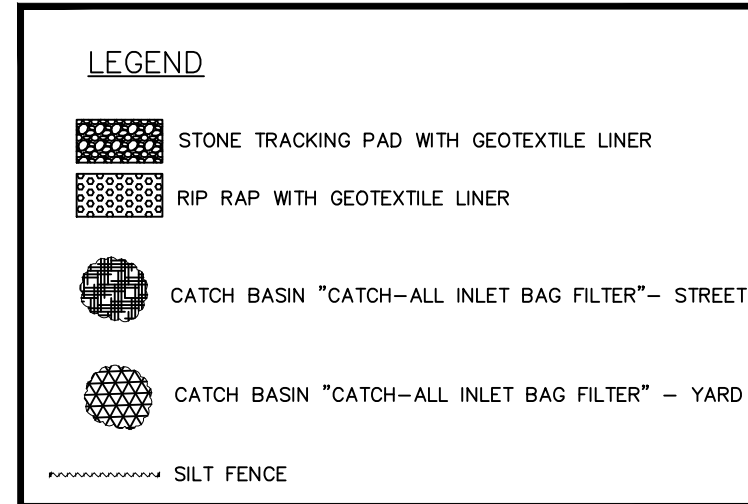


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Notes

- All erosion and sediment control work shall conform to standards and specifications of the WAYNE County Drain Commissioner.
- All temporary and permanent (post construction) soil erosion and sediment control measures shall conform to the City of WAYNE current MS4 permit. Any conflict between these standards and the MS4 permit, the permit's conditions shall take precedence.
- Daily inspections shall be made by the Contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
- Any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways.
- Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. Temporary measures shall be removed as soon as permanent stabilization of slopes, ditches, and other earth changes have been accomplished per WAYNE County Drain Commissioner's standards. This would include temporary sedimentation ponds and temporary SO2 filters.
- Staging the work will be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- Soil erosion control practices shall be established in the early stages of construction by the Contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- Failure to comply with approved soil erosion and sedimentation measures may result in work stoppage by appropriate authority.
- Exceptions to timing of control measures' installation will only be permitted where trees and stumps need to be removed to install soil erosion and sedimentation control measures.
- Contractor is to provide the City with permit renewals, violation corrections, and/or releases.



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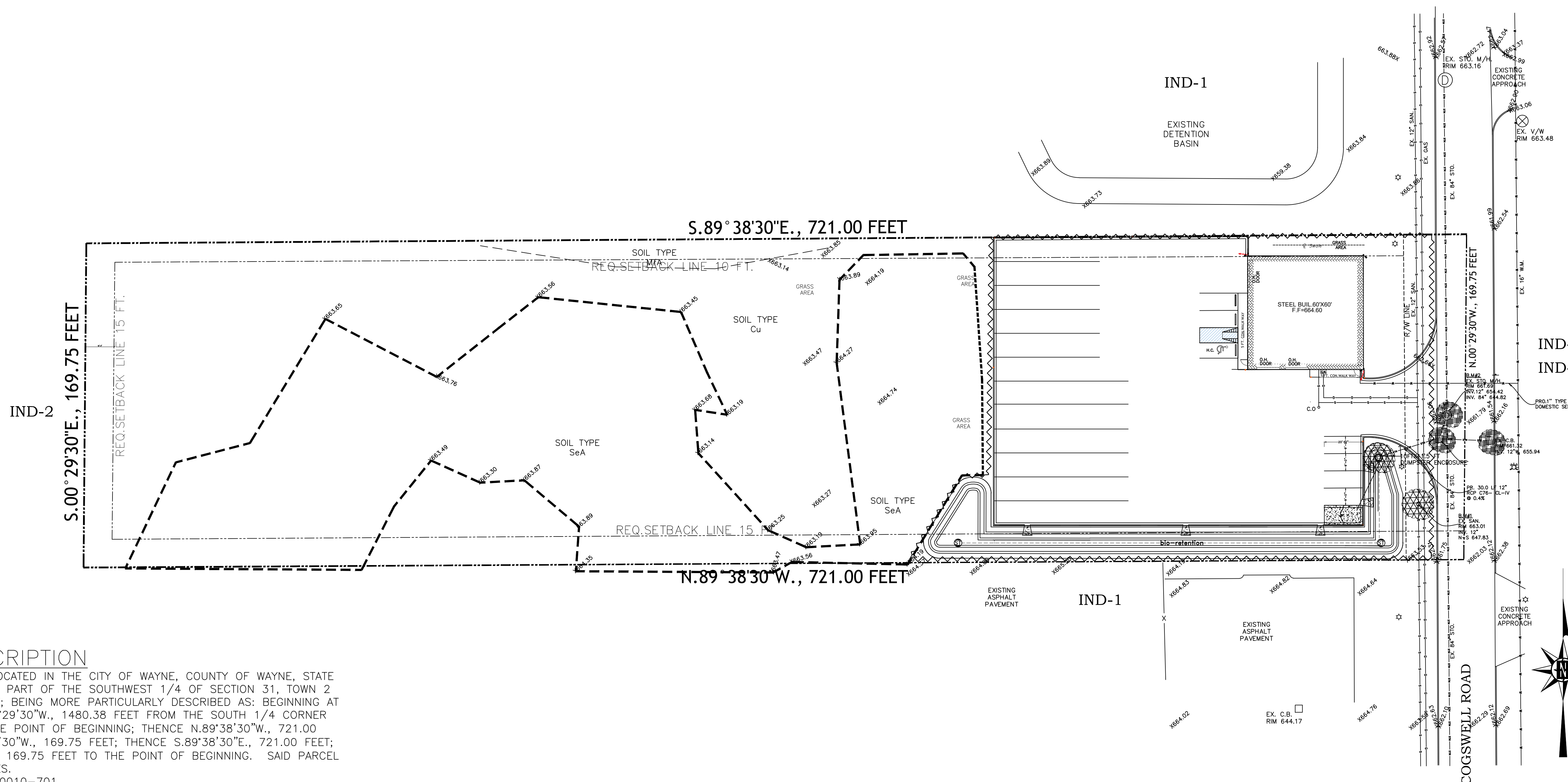
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SHEET TITLE
SOIL EROSION AND SEDIMENTATION CONTROL PLAN

SCALE	SHEET No.
NOTED	C-03

SCALE: 1"=30'-0"

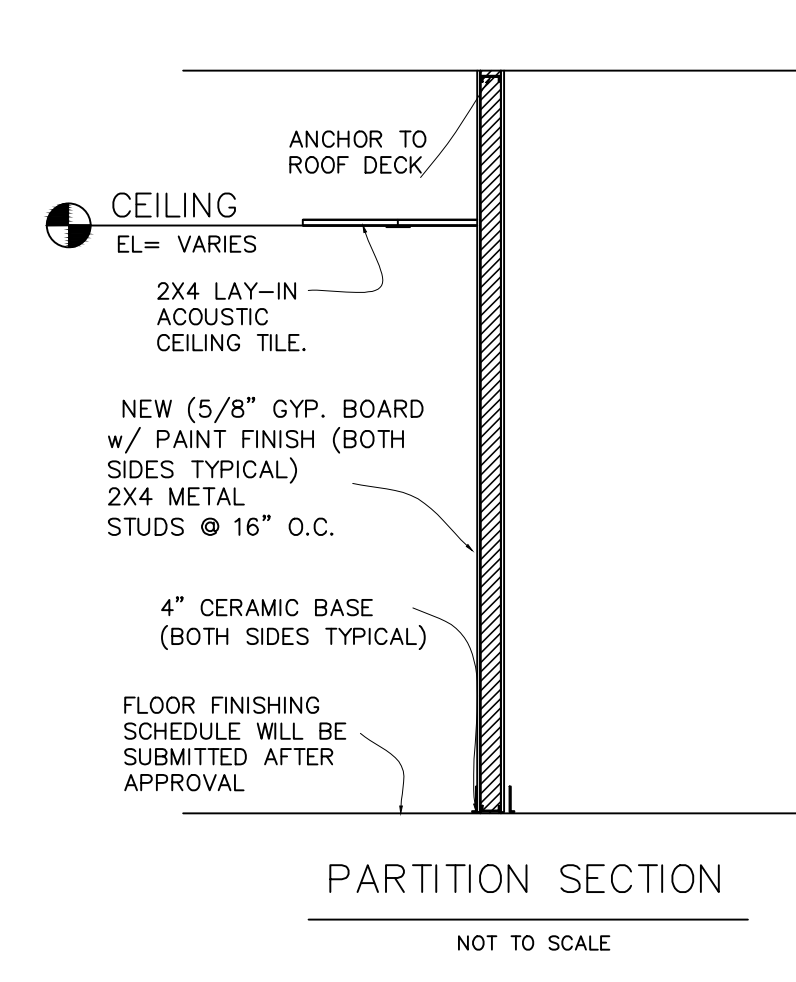


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TAX ID #55-011-99-0010-701.

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN PLUMBING CODE
 2017 NATIONAL ELECTRICAL CODE W/PART 8 RULES
 2018 INTERNATIONAL FIRE PREVENTION CODE
 90.1.2013 MICHIGAN UNIFORM ENERGY CODE
 117.1-2009 ANSI ACCESSIBILITY CODE



GENERAL INDUSTRY SAFETY AND HEALTH STANDARD R 408.10636 Maximum travel distance to exits. Rule 636, Table 1 reads as follows:		
OCCUPANCY	REQUIRED	PROPOSED
<BUSINESS AREA>	MAX TRAVEL DIST. OF 75 FT (<W/D SPRINKLER>)	MAX TRAVEL DIST. OF 74.5 FT
<BUSINESS AREA>	MAX TRAVEL DIST. OF 200 FT (<W SPRINKLER>)	MAX TRAVEL DIST. OF 74.5 FT



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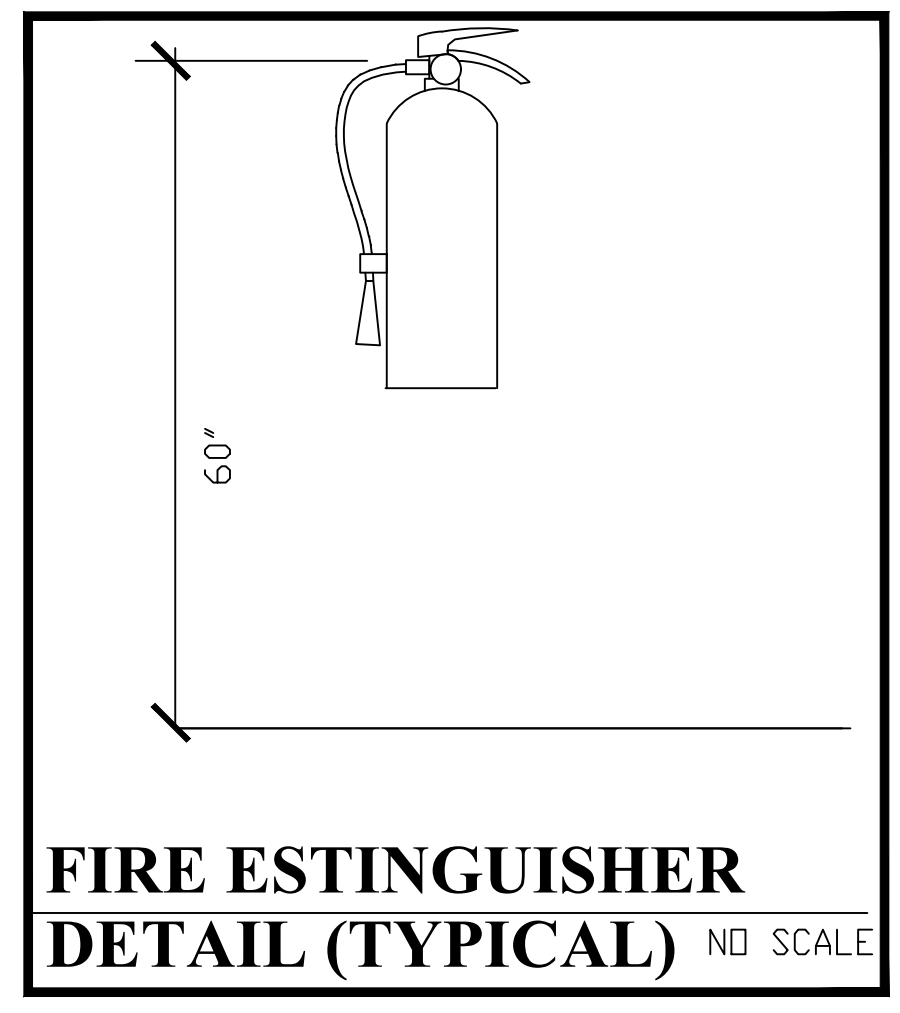
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FIRE NOTES

1. A SEPERATE SIGN PERMIT IS REQUIRED
2. THE MEANS OF EAGRESS, INCLUDING THE EXIT DISCHARGE, MUST BE ILLUMINATED AT ALL TIMES. THE BUILDING SPACE IS SERVED BY THE OF EAGRESS IS OCCUPIED.
3. FIRE EXTINGUISHERS TO BE MOUNTED SO THE THE TRAVEL DISTANCE BETWEEN EXTINGUISHERS DO NOT EXCEED 75 FT (250 FT WITH SPRINKLER SYSTEM. IFC TABLE 906.3 (1).
4. THE FLAME SPREAD RATING FOR THE ROOMS MUST HAVE A CLASS B. (76 TO 200). CORRIDORS MUST HAVE A FLAME A FLAME SPREAD RATING MUST BE BETWEEN 0-450. TABLE 803.5 AND 803.1.
5. THE EXIT DISCHARGE MUST HAVE ILLUMINATED AND HAVE EMERGENCY POWER SUPPLY. SECTION 1006.1
6. THE BOTTOM 10 INCH OF THE GLASS DOORS MUST HAVE A SMOOTH FLUSH PANEL FOR THE ENTIRE WIDTH OF THE DOOR. (ICC/ANSI A 117.1-2009 SECTION 404.2.8.)
7. GLAZING WITHIN A 24 INCH ARC OF ENTIRE VERTICAL EDGE OF THE DOOR, IN A CLOSED POSITION, MUST BE SAFETY GLASS. SECTION 2406.3 (3). SECTION 404.2.8.)
8. THE EXTERIOR EXIT DISCHARGE LIGHTING SHALL BE EQUIPPED WITH BATTERY BACK UP. THE BACK OF BATTERIES SHALL BE AT MIN. 90 MINUTES RATED AND BE TESTED MONTHLY FOR 30 SEC. AND ANNUALLY FOR 90 MIN. RECORDS SHALL BE MAINTAINED FOR INSPECTION PURPOSES.
8. THE EXTERIOR EXIT DISCHARGE LIGHTING SHALL BE EQUIPPED WITH BATTERY BACK UP. THE BACK OF BATTERIES SHALL BE AT MIN. 90 MINUTES RATED AND BE TESTED MONTHLY FOR 30 SEC. AND ANNUALLY FOR 90 MIN. RECORDS SHALL BE MAINTAINED FOR INSPECTION PURPOSES.

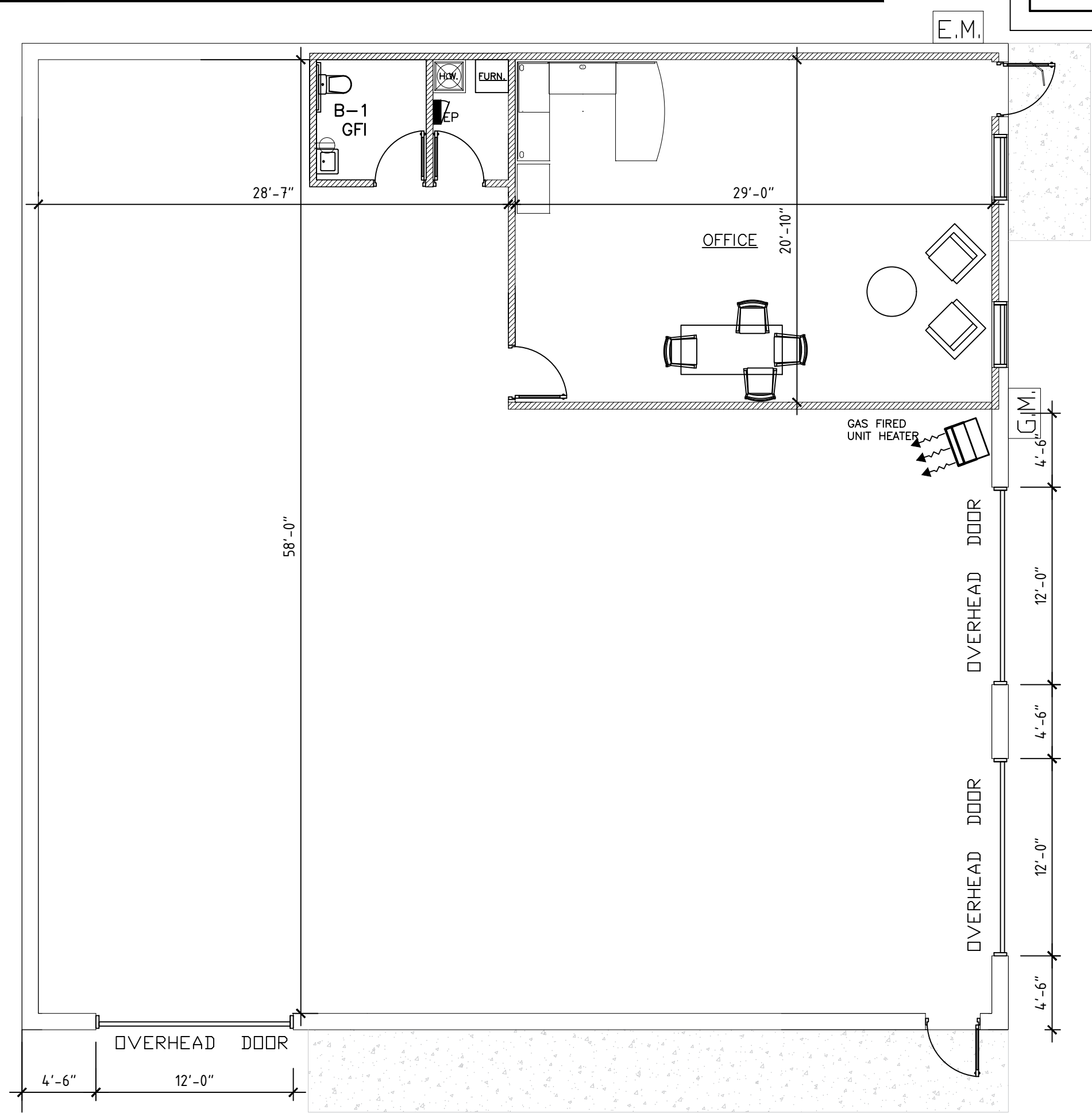


FIRE ESTINGUISHER DETAIL (TYPICAL) NO SCALE

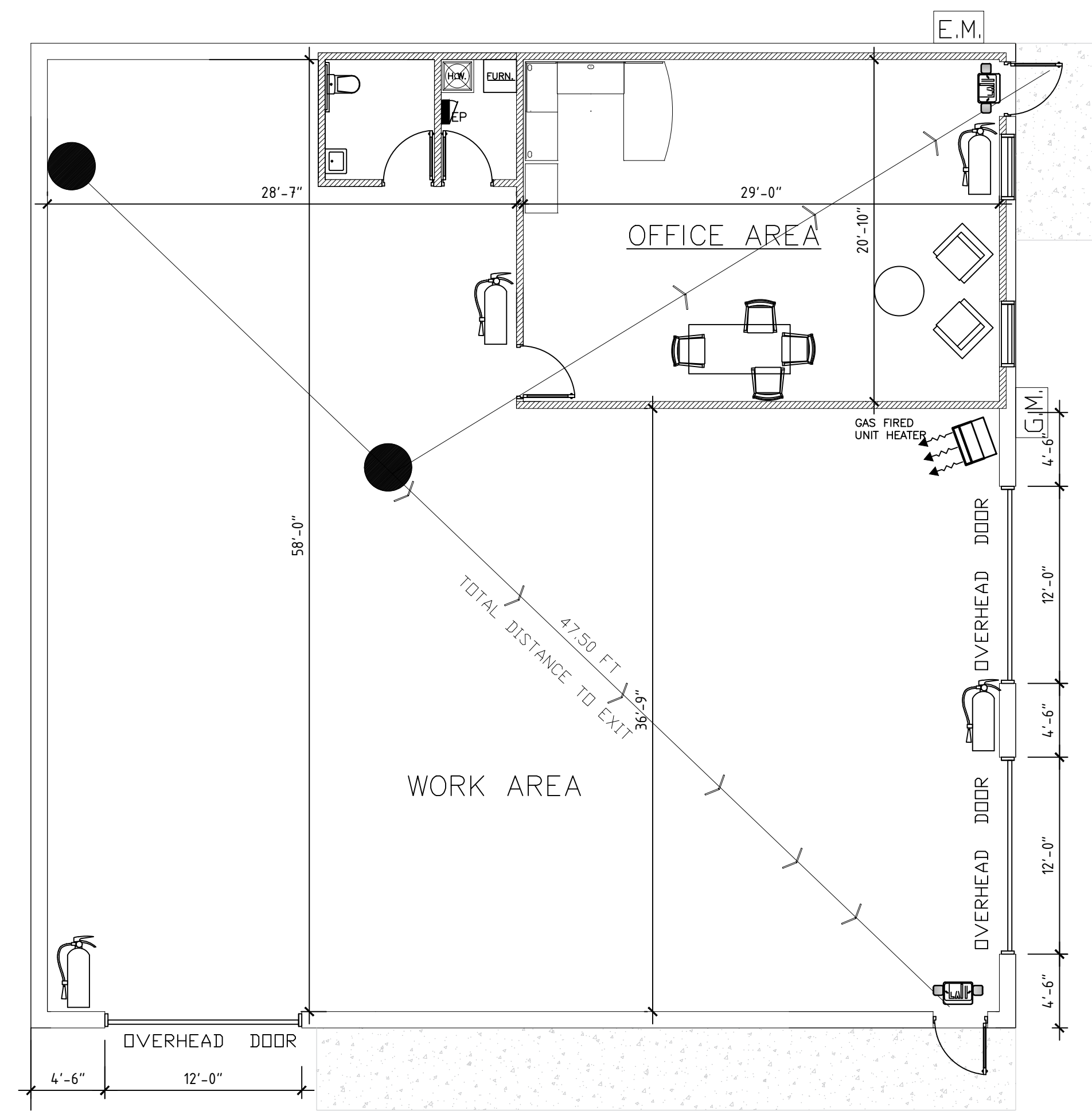
- METAL SHEET WALL+ WALL 5/8" GYP. BD. ON 3-5/8" MTL, STUDS @ 16" O.C TYP.
- WALL 5/8" GYP. BD. ON 3-5/8" MTL, STUDS @ 16" O.C TYP.
- NEW METAL SHEET WALL

MICHIGAN BUILDING CODE 2015

USE GROUP:	IND-1 (LIGHT INDUSTRIAL)
CONSTRUCTION TYPE:	II B
SPRINKLER SYSTEM:	NONE
PRO. UNIT AREA	3600 SQ FT
OCCUPANTS:OFFICE AREA	580 SQ FT/100=6
OCCUPANTS:WORK AREA	3020 SQ FT/100=30
TOTAL OCCUPANTS:	30+6=36
OCCUPANT LOAD:	36
EGRESS REQUIRED	0.2x36= 7.2 IN
EGRESS PROVIDED	(2) 36 IN= 72 IN



1ST. FLOOR PLAN
 SCALE: 1/4" = 1'-0"



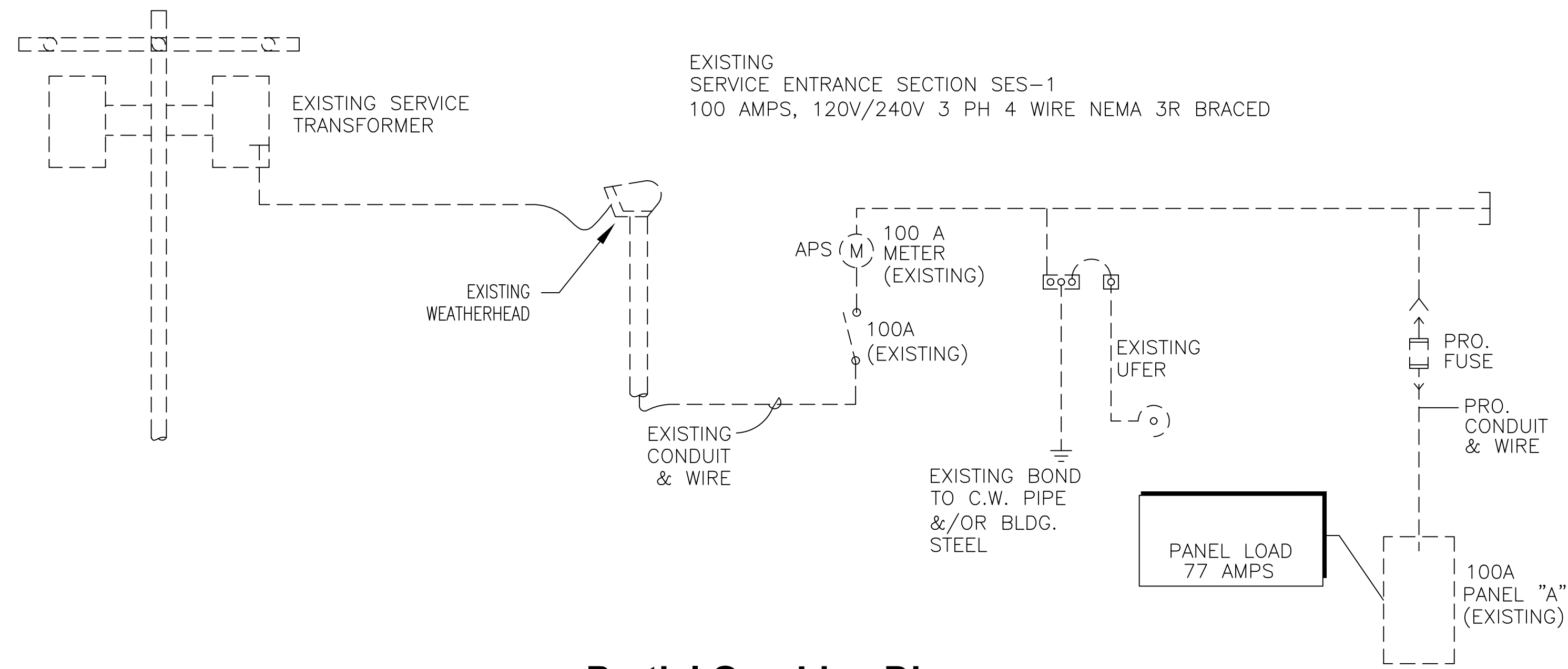
LIFE SAFETY PLAN
 SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION
	04/22/23	OWNER REQUEST

PROJECT NO:
 MODEL FILE:
 DRAWN BY: HAIDER BAJARI
 CHK'D BY: HAKIM SHAKIR
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SHEET TITLE
FLOOR PLAN

SCALE	SHEET No.
NOTED	A-01



Partial One-Line Diagram

NOTE: DASHED LINE INDICATES EXISTING

VOLTAGE: 120/240/3 PH.
 AMPS: 100 AMPS
 WIRE: 4W
 30 CIRCUITS

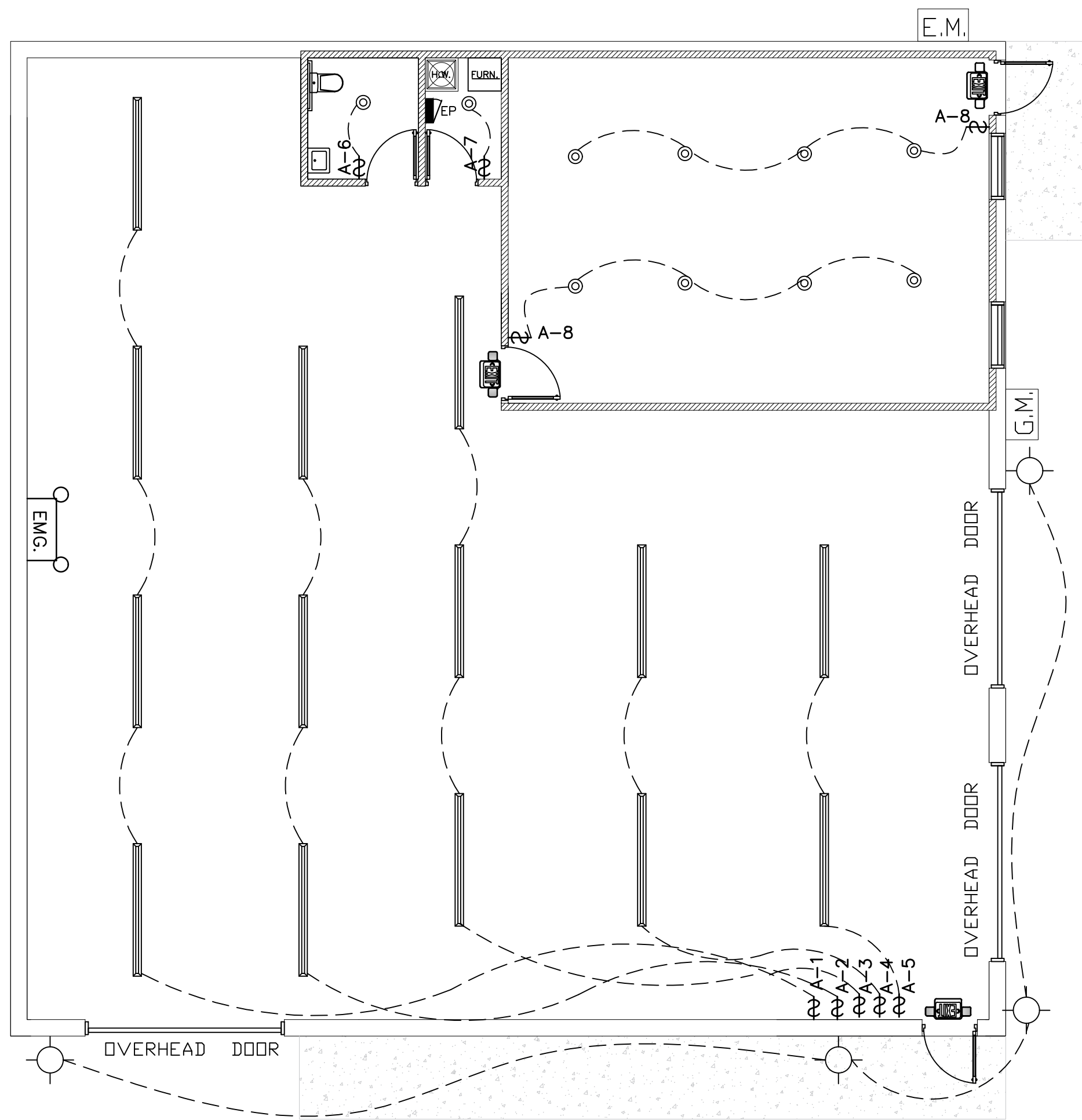
LOCATION
 UTILITY ROOM

PROPOSED PANEL: P-A

DESCRIPTION	C.B. AMPS	VOLT-AMP			CIR. NO.	A	B	C	CIR. NO.	VOLT-AMP			C.B. AMPS	DESCRIPTION
		A	B	C						A	B	C		
LIGHTING	20	800			1				2	960		20	LIGHTING	
LIGHTING	20		800		3			4		800		20	LIGHTING	
LIGHTING	20			800	5			6			800	20	LIGHTING	
LIGHTING	20	800			7			8	800			20	LIGHTING	
	20				9			10		650		20	EMERGENCY LIGHTING	
	20				11			12			600	20	EXIT SIGN	
	20				13			14				20		
	20				15			16				20		
TOTALS		1600	800	800						1760	1400	1400		(*) LOCK ON DEVICE
TOTAL PHASES		A=3360				B=2200				C=2200				
TOTAL CONNECTED LOAD IN VA: 77,60VA		HIGHEST LOAD PER PHASE: 10.410 AMPS; AVAILABLE: 100AMPS												
NOTES: LIGHTING LOADS THAT RUN CONTINUOUSLY FOR THREE HOURS ARE CALCULATED @ 125% OF THE RATED LOADS.														

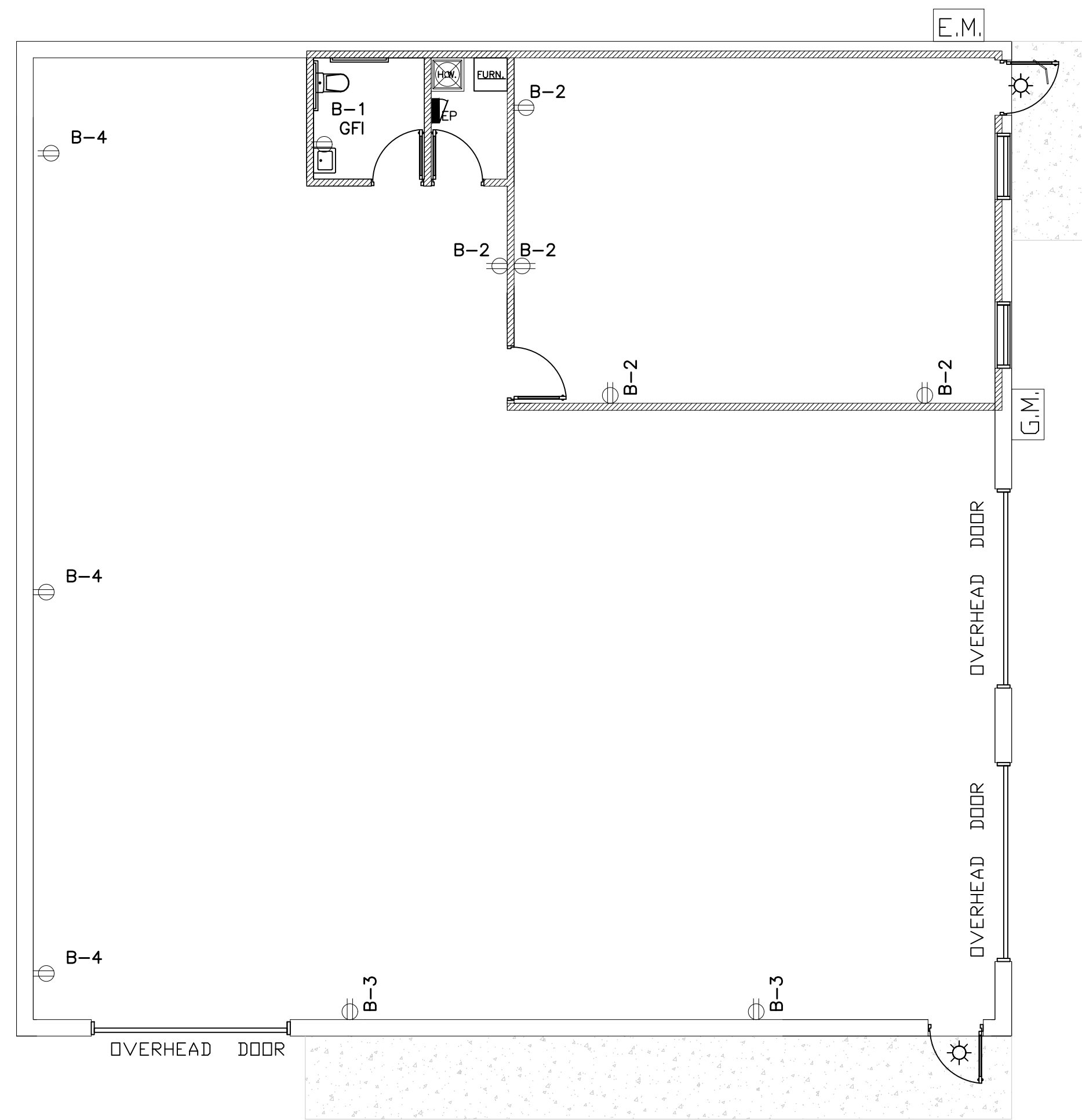
ELECTRICAL ABBREVIATIONS & SYMBOLS

E.C.	SYMBOL	DESCRIPTION
ELECTRICAL CONNECTION - CONDUIT		
D.R.	⊕	DUPLEX RECEPTACLE
S.R.	⊙	SINGLE RECEPTACLE
E.P.	⊕	DUPLEX RECEPTACLE/GENERATOR
HP		HORSE POWER
K.W.		KILOWATT
W.		WATT
AMP		AMPERAGE
V.		VOLTAGE
SW	⎓	SWITCH
JB.	□	JUNCTION BOX
	⊙	INCANDESCENT LIGHT
	⊕	FLUORESCENT LIGHT
A.F.F.		ABOVE FINISHED FLOOR
D.F.A.		DROP FROM ABOVE
BT		BRANCH & CONNECT TO



ELECTRICAL LIGHTING PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN PLUMBING CODE
 2017 NATIONAL ELECTRICAL CODE W/PART 8 RULES
 2018 INTERNATIONAL FIRE PREVENTION CODE
 90.1.2013 MICHIGAN UNIFORM ENERGY CODE
 117.1-2009 ANSI ACCESSIBILITY CODE

ENGINEERING SERVICES, INC.
 CONSULTING ENGINEERS
 32190 SCHOOLCRAFT ROAD
 LYONIA, MICHIGAN 48150
 (734) 525-7330
 ARCHITECTURAL, CIVIL,
 ENVIRONMENTAL COMPLIANCE
 AUDIT, & SURVEYING
 ESI_CORP@YAHOO.COM

NOTE:
 ENGINEERING SERVICES INC., ITS OWNER, DESIGNERS, ENGINEERS AND STAFF ARE NOT LIABLE OR RESPONSIBLE FOR THE FAILURE OF CONTRACTORS AND THE OWNER TO PERFORM AND EXECUTE THE PROPOSED PROJECT IN ACCORD WITH THE PLANS AND THE LATEST CODES AND STANDARD SPECIFICATIONS.

CONSULTANTS

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