

TENANT SUITE BUILD-OUT FOR RETTA B's SOUTHERN CUISINE

263 COLUMBIA AVENUE
BELLEVILLE, MICHIGAN

GENERAL NOTES:

PLUMBING, FIRE PROTECTION, MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS TO BE PERFORMED AS DESIGN/BUILD CONTRACTS, WITH EACH CONTRACTOR RESPONSIBLE FOR CODE COMPLIANT SYSTEMS. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS ASSOCIATED WITH THEIR WORK.

CONTRACTOR TO COORDINATE WITH BUILDING OWNER & TENANT REGARDING ANY UTILITY SHUTDOWNS REQUIRED FOR CONSTRUCTION, AS WELL AS ANY ISSUES RELATED TO WORK IN THE BUILDING.

CONTRACTOR TO TURN OVER TO BUILDING OWNER ANY EQUIPMENT, LIGHT FIXTURES, HARDWARE, ETC. WHICH IS REMOVED BUT NOT REQUIRED FOR THIS TENANT BUILD-OUT.

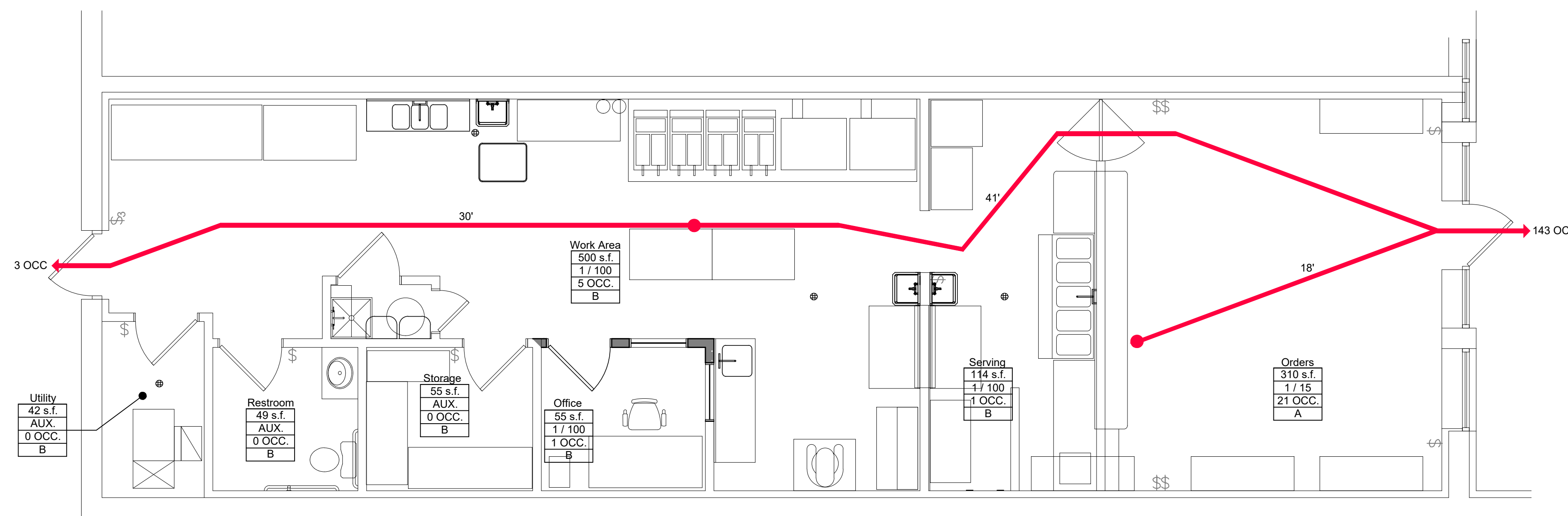
ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ALL WOOD BLOCKING, PLYWOOD & LUMBER TO BE FIRE RETARDANT.

PROVIDE AND INSTALL FIRE EXTINGUISHERS AS DIRECTED BY THE FIRE MARSHAL.

ALL BUILDING AND TENANT AREAS ARE TO BE ACCESSIBLE PER MBC 2015 CHAPTER 11.

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, WHENEVER REQUIRED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO APPLICABLE CODES.



LIFE SAFETY PLAN
SCALE: 1/4"=1'-0"

2015 INTERNATIONAL BUILDING CODE REVIEW

Use Group (Section 302)	M & A-3 (Unlimited Area)
Type of Construction (Table 601)	2B
Allowable Building Height in Feet Above Grade Plan (504.3) (Sprinklered)	75
Allowable Number of Stories Above Grade Plan - Use Group A-3 (Table 504.4)	3
Allowable Area Factor (Table 506.2)	38,000
One Story Building with Sprinkler System - S1	705.0
Perimeter Fronting a Public Way	705.0
Perimeter of Entire Building	30
Minimum Width of Public Way or Open Space (Cannot be more than 30' or less than 20') (Section 506.3)	
Unlimited Area Buildings (Section 507)	
Sprinklered, one-story buildings (507.5)	
The area of a Group B, F, M, or S building no more than two stories above grade plane shall not be limited where the building is provided with an automatic sprinkler system throughout in accordance with Section 903.3.1.1 and is surrounded and adjoined by public ways or yards not less than 60 feet (18288 mm) in width.	
Separated Occupancies (508.4)	
Buildings or portions of buildings that comply with the provisions of this section shall be considered separated occupancies.	
Separation (508.4)	
Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.4.	
Required Separation of Occupancies (Hours) (Table 508.4)	1
Area Provided (Entire Building) =	16,350
Area Provided (A-3 Occupancy) =	1,250
Automatic Sprinkler Systems (Section 903)	
Group A-3 & M (Sections 903.2.1.3 & 903.2.7)	
An automatic sprinkler system shall be provided throughout buildings with a Group A-3 and/or M occupancy where one of the following conditions exists:	
1. The fire area exceeds 12,000 square feet (1115 m2).	
Occupant Load (Section 1004)	
Maximum Occupants (Total for A-3 Occupancy)	28
Actual Occupants	28
All building and employee areas are to be accessible per IBC 2015 Chapter 11 and ICC A117.1-2009.	

Cover Sheet

DATE	04/30/24
REVIEWER	WCHHS Review
DATE	07/02/24

PROJECT
**Lease Space Remodeling for
Retta B's Southern Cuisine**
Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

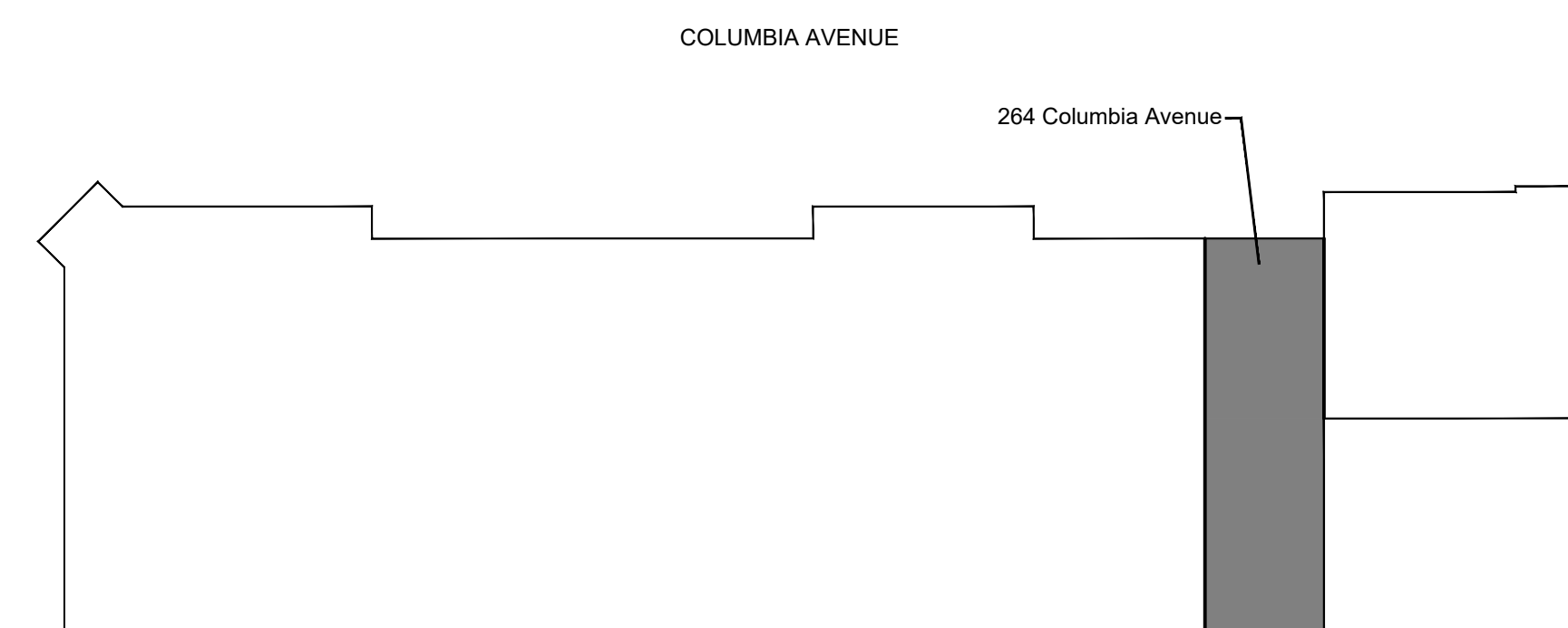
APPROVED	DRAWING DATE
CHECKED	DRAWN

PROJECT No. **24-649.01**

SHEET No. **CS-01**

Drawing Index

CS-01	Cover Sheet
A-01	Plans, Notes, & Details
A-02	Reflected Ceiling Plans
A-03	Kitchen Plan & Equipment List
P-01	Plumbing Plans
M-01	HVAC Plan
E-01	Electrical Power & Lighting Plans



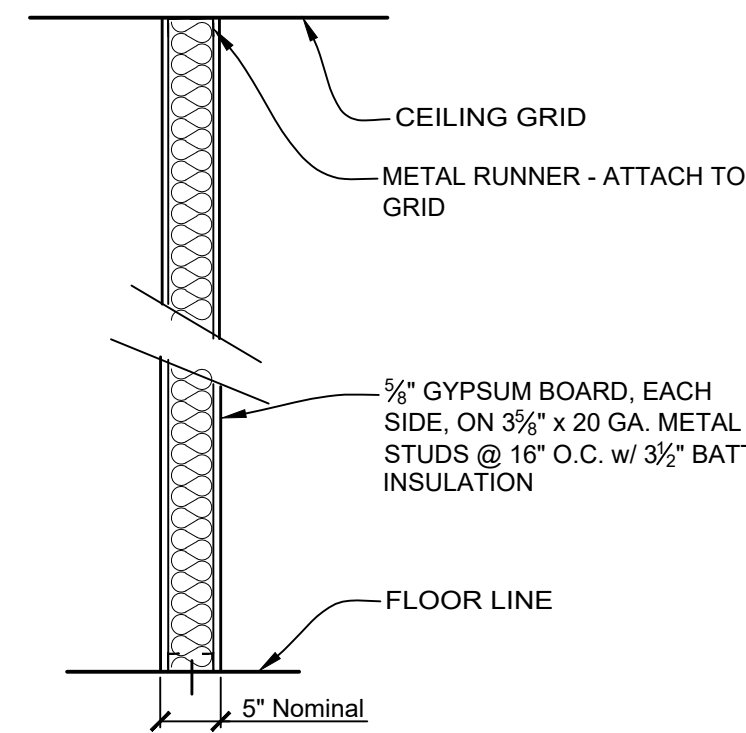
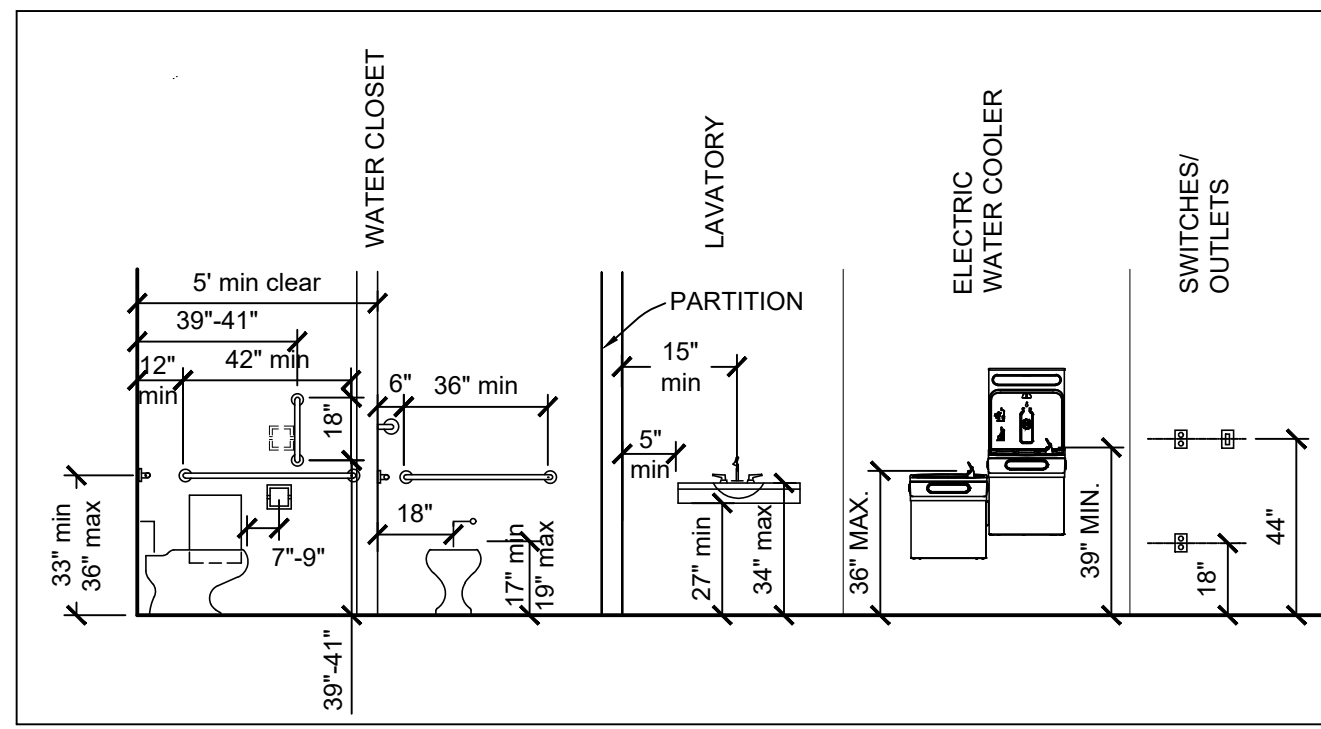
KEY PLAN
NO SCALE

Legend

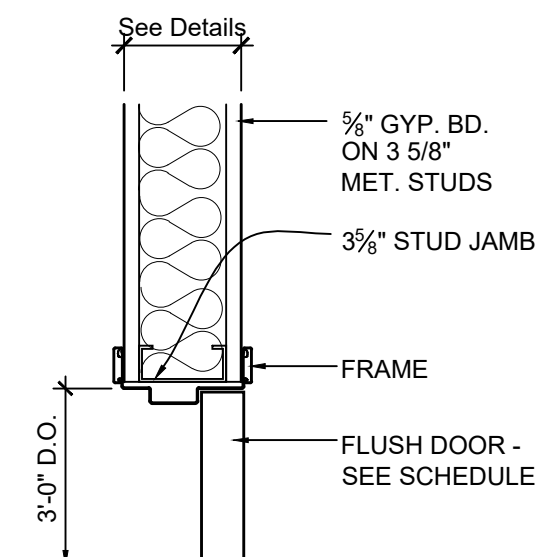
Area	xxx s.f.
OCC. Load Factor	1/100
Actual Occupancy	X OCC.
Occupancy Group	E



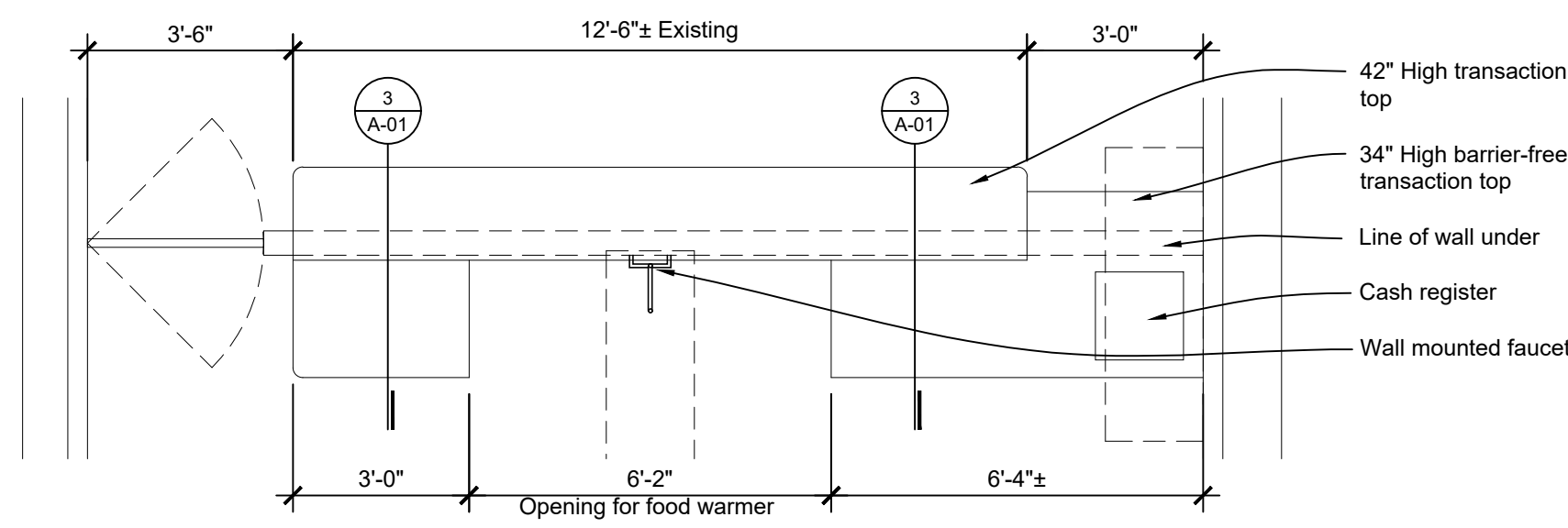
FIXTURE MOUNTING HEIGHTS



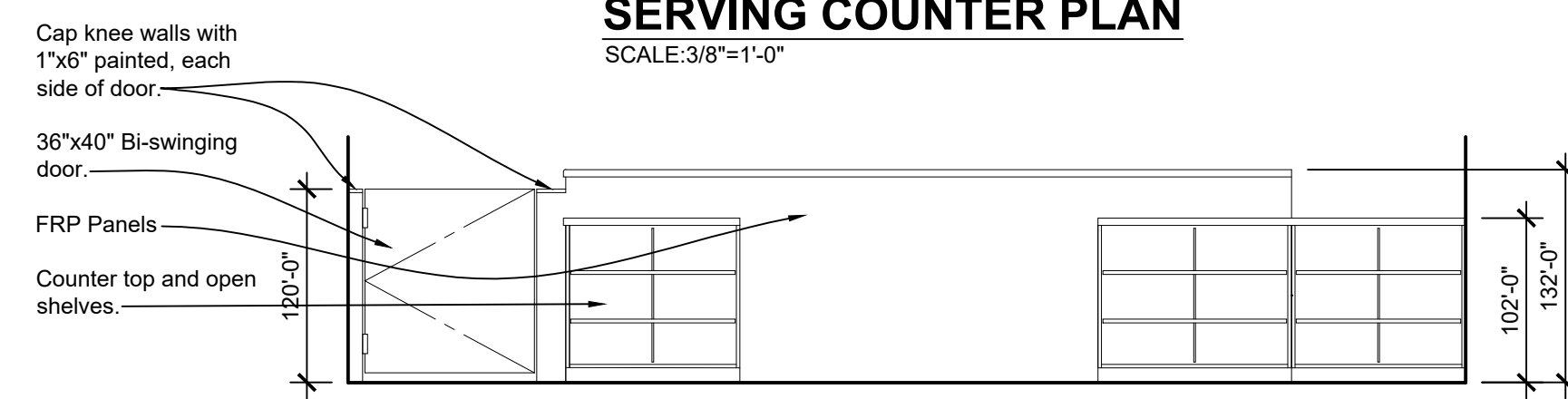
1 PARTITION DETAIL
A-01 SCALE: 3/4"=1'-0"



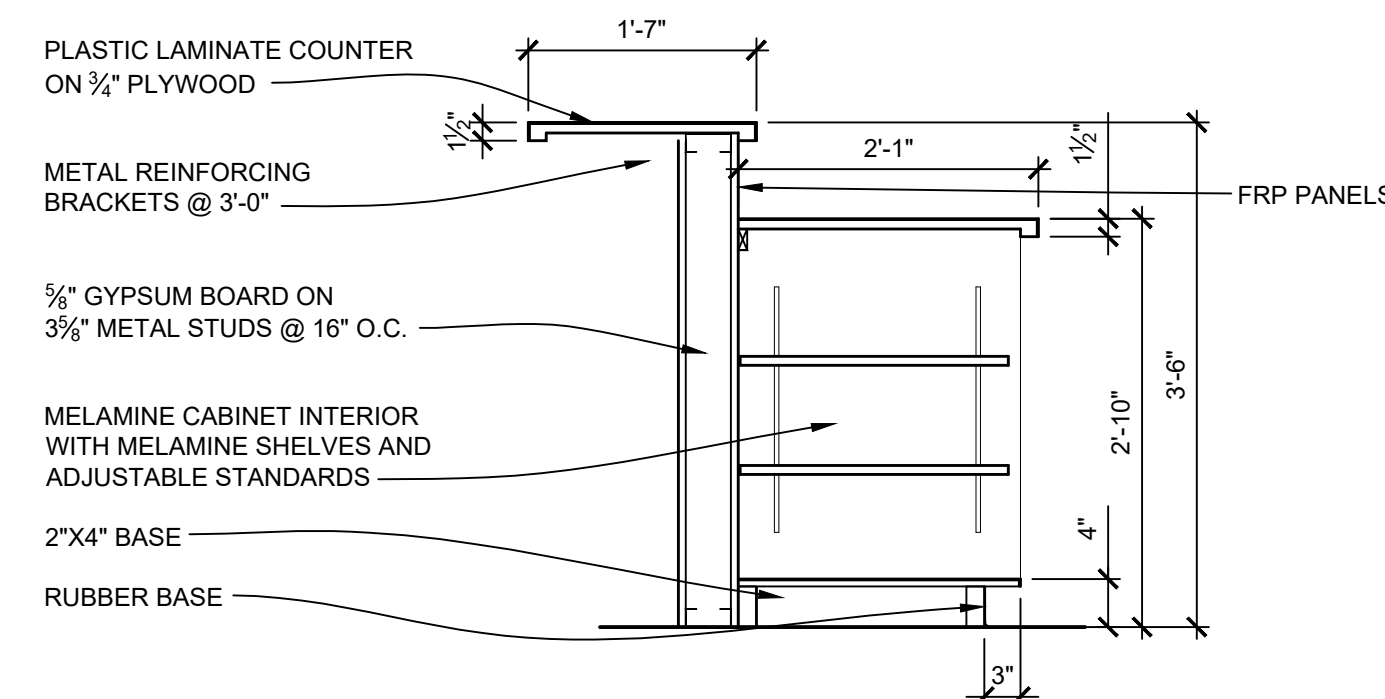
TYPICAL DOOR DETAIL
SCALE: 1-1/2"=1'-0"



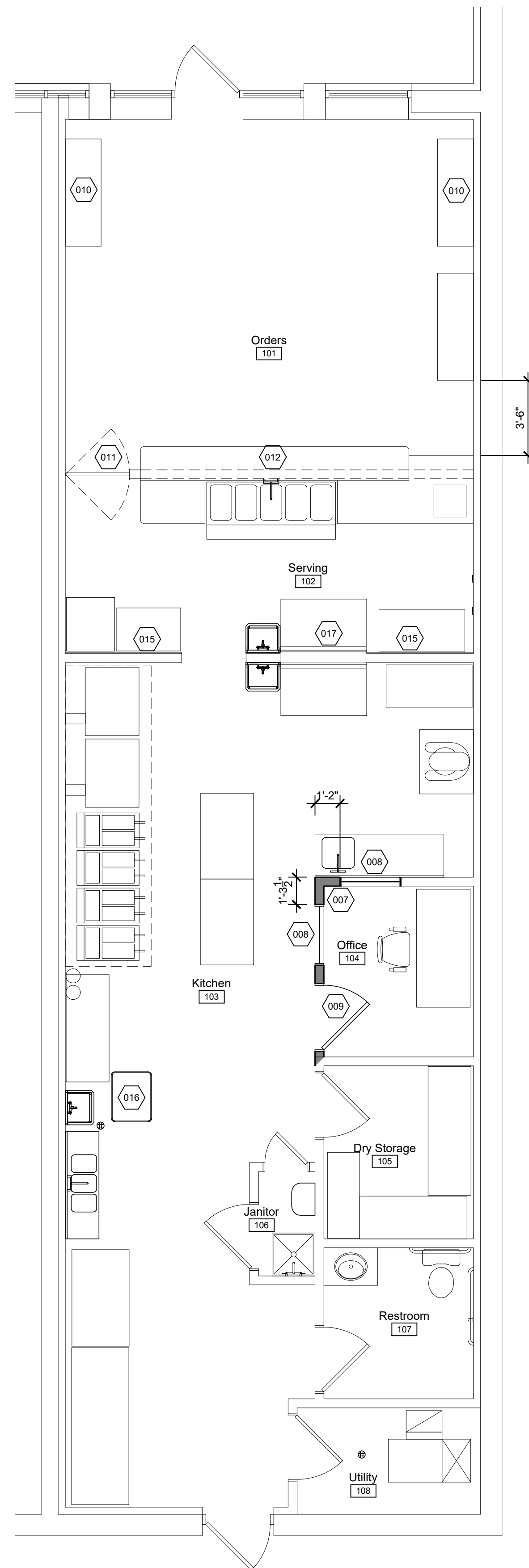
SERVING COUNTER PLAN
SCALE: 3/8"=1'-0"



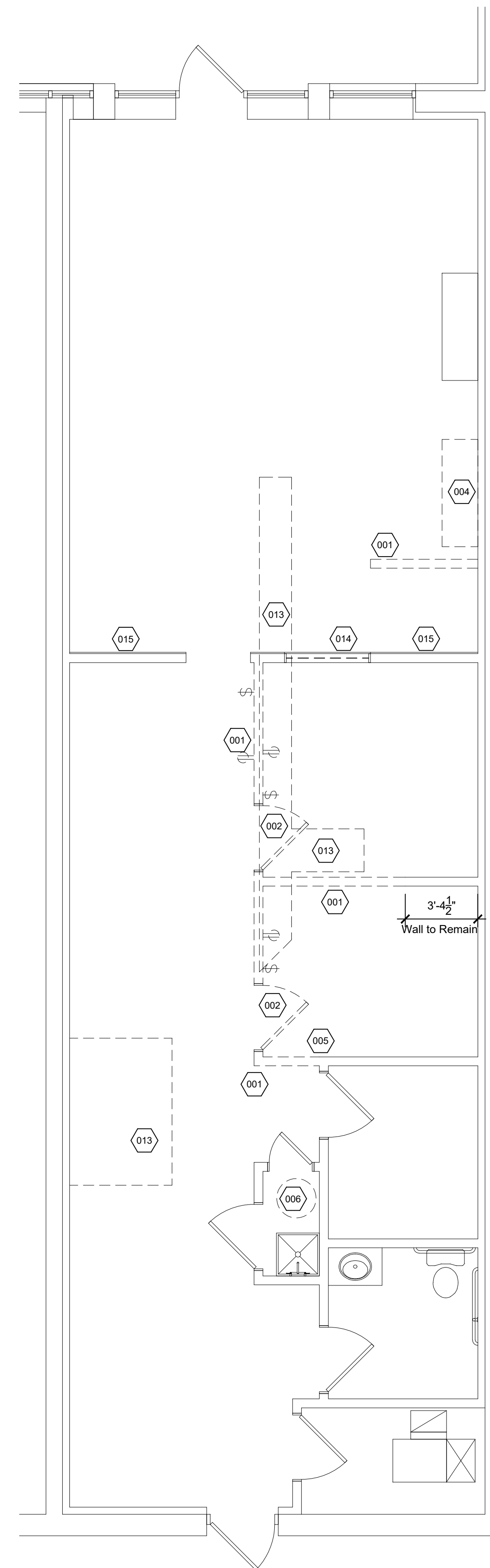
2 SERVING COUNTER ELEVATION
A-01 SCALE: 3/8"=1'-0"



3 SERVING COUNTER SECTION
A-01 SCALE: 3/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"



DEMOLITION PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

- Existing exterior windows and doors are to remain as is.
- Unless otherwise noted all doors and frames are to remain.
- Tenant demising walls are existing to remain.
- Existing ceiling grid to remain. Replace ceiling tiles per finish information.
- Existing toilet rooms, utility room, and janitor closet to remain.
- Patch existing walls and ceiling at any removed wall to match adjacent finish.
- Rework fire protection piping and heads as required for repaired ceiling and new hood.

DEMOLITION NOTES:

- Remove existing vinyl composition tile and base in the kitchen and serving areas.
- Remove existing ceiling tiles (refer to reflected ceiling plan), grid, lights, fans, diffusers to remain.

NEW FINISHES AND MATERIALS

- FLOOR:** All Rooms except Kitchen
- Luxury vinyl tile, 6"x48" planks
 - Epoxy, slip resistant - Kitchen only

- BASE:** All Rooms
- 4" Vinyl Cove Base

WALLS:

- Gypsum Board - Painted - All Rooms
- FRP Panels - Kitchen except for stainless steel
- Stainless Steel Panels - Kitchen, walls that the stainless steel hood abuts.

CEILING: All Rooms

- 2'x4' Acoustic Ceiling Panels - All Rooms except Kitchen & Serving - Fine fissured tiles
- 2'x2' Acoustic Ceiling Panels - Kitchen and Serving Areas only. Vinyl covered gypsum cleanable tiles

ABBREVIATIONS

- HM = HOLLOW METAL
AL or ALUM = ALUMINUM
WD = SOLID CORE WOOD
R.F. = REDI-FRAME

DOOR NOTES:

EXISTING DOORS AND HARDWARE TO REMAIN. ALL DOOR HARDWARE TO BE A.D.A. & MICHIGAN BARRIER-FREE COMPLIANT.

CONSTRUCTION NOTES:

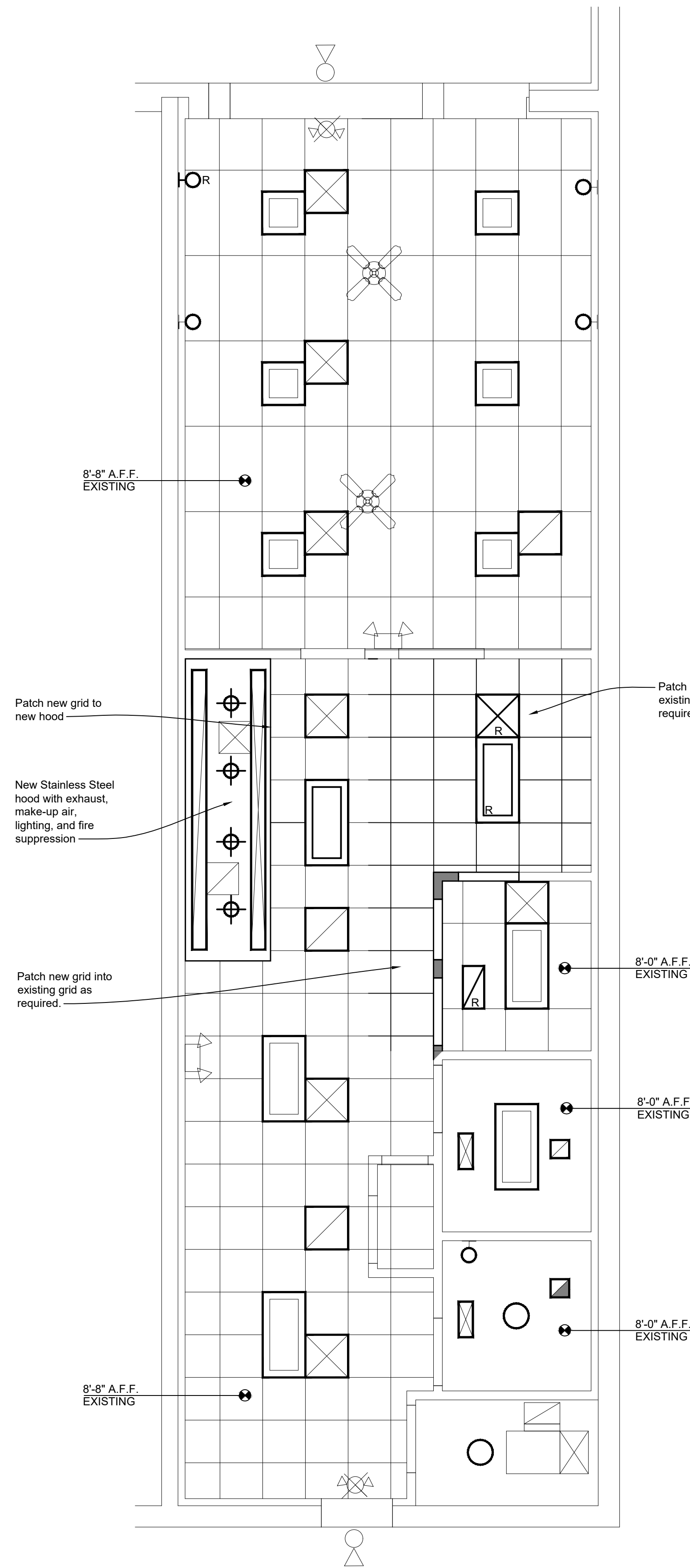
- Remove portion of existing partition as shown.
- Remove existing door and frame.
- Remove existing half-wall.
- Remove existing shelf and drawers, save for reinstallation.
- Remove portion of existing wall to meet corner of existing wall to remain.
- Remove existing water heater, prepare plumbing lines for new on demand water heater.
- Shaded partitions indicate new partition construction, see detail #4/A-01. New partition to align with existing walls that remain.
- New 34" wide x 36" high window in prefabricated black frame, mount head @ 7'-0" A.F.F.
- Relocated existing 3'-0"x7'-0" door and frame.
- Relocated shelf and drawers, match mounting height of existing shelf and drawers.
- 36"x40" Half door with bi-swinging self closing hinges.
- Custom 17" wide, 42" high transaction top with 25" wide, 34" high counter top with open cabinets and shelves, see large scale plan.
- Saw cut existing floor slab for new plumbing fixtures. Match thickness of existing concrete floor slab and tie to existing with bonding adhesive.
- Existing one-way window to be removed.
- Existing wood planking to remain.
- New grease interceptor.
- New 12" x 48" plastic laminate serving counter. Set in existing removed window opening.

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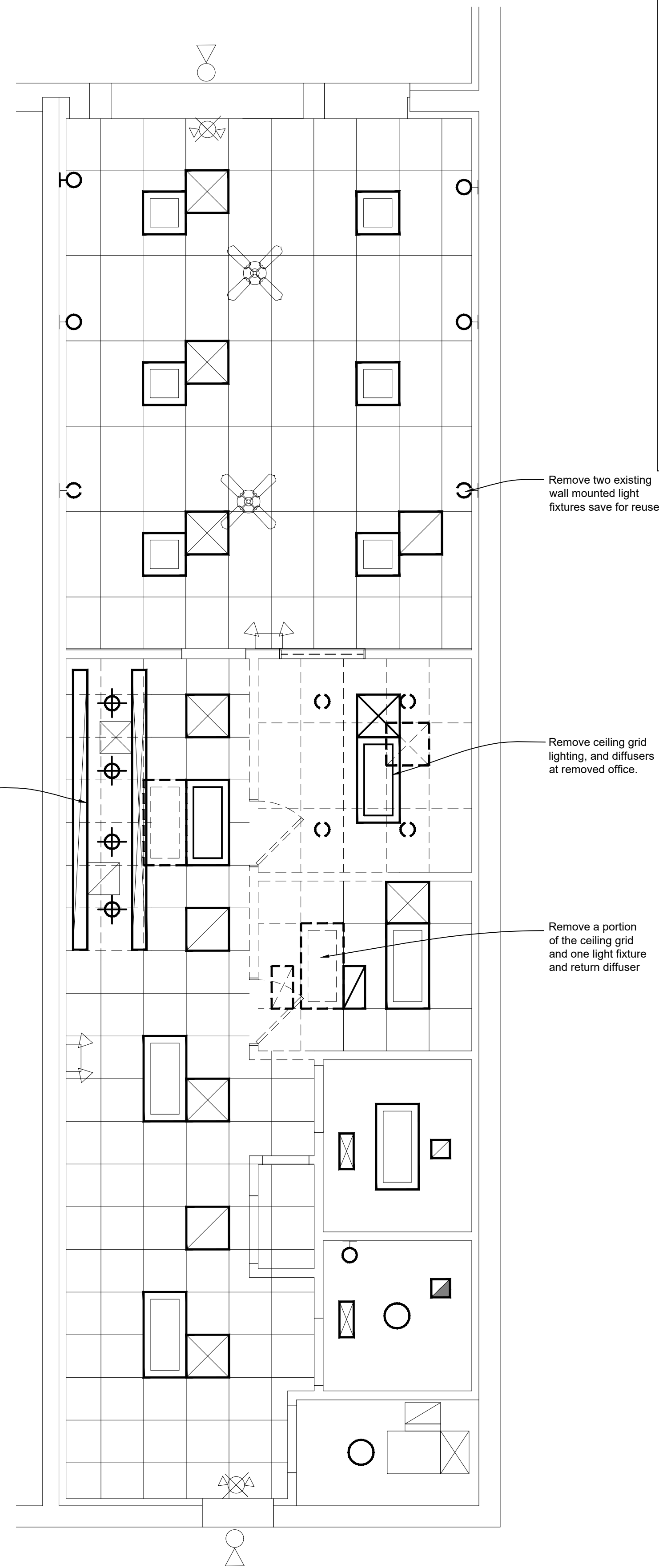
Plans & Details	
SHEET TITLE	
DATE	04/30/24
SELECTOR	Permits

Lease Space Remodeling for Retta B's Southern Cuisine
 Vincent Warren
 264 Columbia Avenue
 Belleville, Michigan 48111

PROJECT	DRAWING DATE
APPROVED	03/07/2024
CHECKED	DRAWN
PROJECT No:	24-649 .01
SHEET No:	A - 01



REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



REFLECTED CEILING DEMO PLAN
SCALE: 1/4"=1'-0"

CEILING LEGEND	
	LAY-IN ACOUSTIC TILE PANELS 2x4
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING RETURN AIR DIFFUSER
	EXISTING EXHAUST FAN
	EXIT LIGHT W/ BATTERY BACK UP
	EMERGENCY LIGHT W/ BATTERY BACK UP
	EXIT LIGHT COMBO EMERGENCY LIGHT W/ BATTERY BACK UP
	EXISTING REMOTE EXTERIOR EMERGENCY LIGHT
	EXISTING LAY-IN LIGHT FIXTURE
	EXISTING SURFACE MOUNTED LIGHT FIXTURE
	EXISTING WALL MOUNTED LIGHT FIXTURE
	EXISTING CEILING FAN
	X'-X" A.F.F. CEILING HEIGHT A.F.F.
FIXTURE DESIGNATIONS: NO DESIGNATION - EXISTING R - RELOCATED N - NEW	

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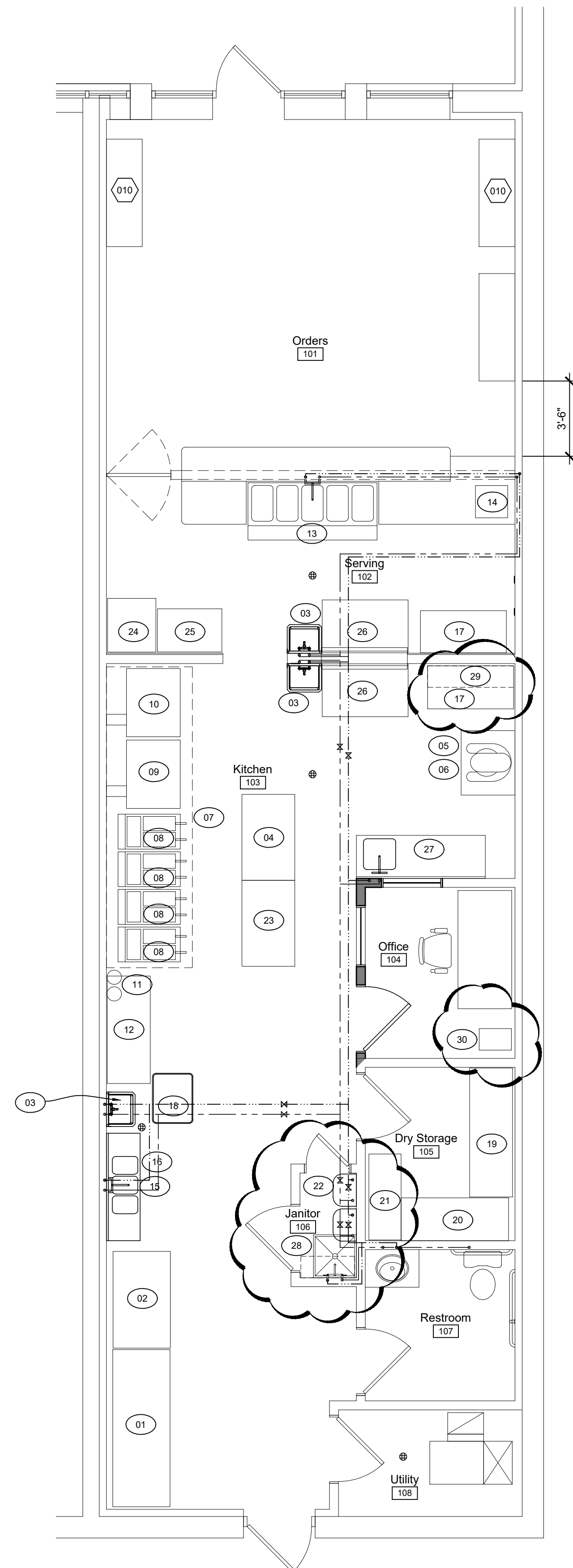
Reflected Ceiling Plan	
SHEET TITLE	
ISSUED FOR	Permits
DATE	04/30/24

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 Vincent Warren
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PROJECT No:
24-649 .01

SHEET No:
A - 02



FLOOR PLAN
SCALE: 1/4"=1'-0"

KITCHEN EQUIPMENT LIST
NOTE: ALL EQUIPMENT TO BE NSF APPROVED

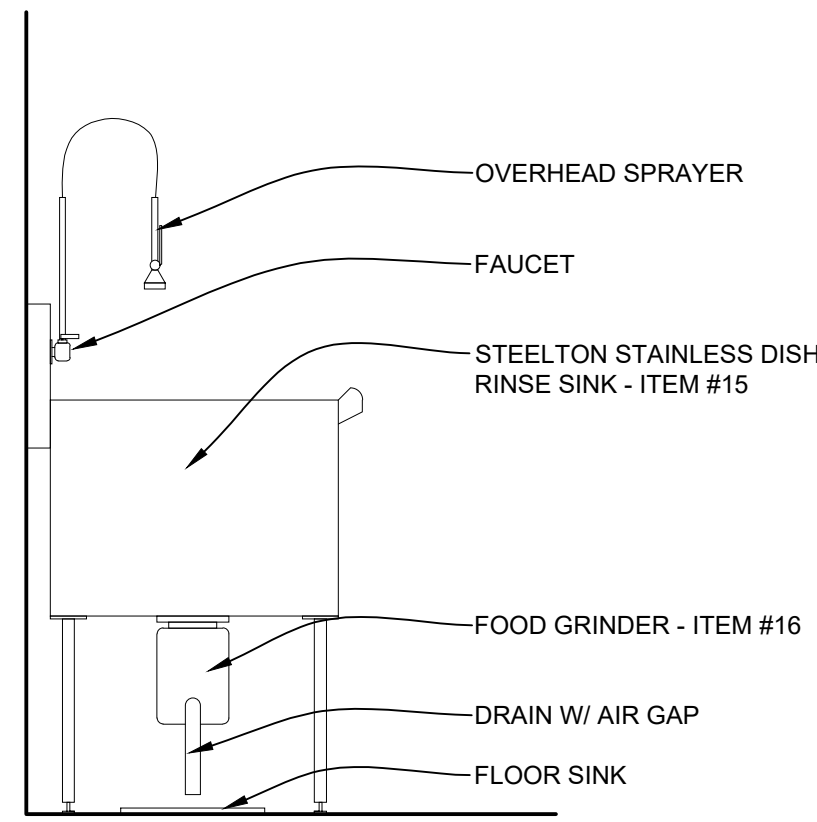
- 01 REACH-IN FREEZER, BERG, BERT3F, 77.8"W x 31.7"D x 81.3"H, 208-230V 6.2A
- 02 REACH-IN COOLER, ARGUS, ARF-2D, 54"W x 32"D x 82.5"H, 115V 3.8A
- 03 STAINLESS STEEL HAND SINK, ADVANCED TABCO, 7-PS-40
17 1/2"W x 15 1/2"D x 12 1/4"H w/ SIDE SPLASH GUARDS
- 04 48"W x 30"D x 34"H STAINLESS STEEL WORK TABLE, EAGLE T3048E
- 05 STAINLESS STEEL EQUIPMENT STAND
36"W x 30"D x 34"H (UNDER MIXER) - REGENCY 60ES3036G
- 06 ALL-PURPOSE MIXER - SENTINEL, SHLM-20B, 120V 11A
- 07 14'-0" x 4'-0" STAINLESS STEEL EXHAUST HOOD WITH MAKE-UP AIR AND LIGHTING
- 08 4 - DEEP FRYERS - PATRIOT, PT-F5
150,000 BTU EACH
- 09 GAS OVEN - PATRIOT, PT-COG / NG
54,000 BTU , 120V 4A
- 10 DOUBLE STACK GAS OVENS - PATRIOT, PT-COG*2 108,000 BTU, 120V 4A
- 11 EXHAUST HOOD FIRE SUPPRESSION TANKS MOUNTED JUST BELOW THE CEILING
- 12 WIRE SHELING - REGENCY
24"D x 60"W x 74"H
- 13 HOT FOOD WARMER - 72"W x 29 1/2"D x 33 1/2"H, SENTINEL, PA0205, 208-240V 2800-3750W, w/ WALL MOUNTED FAUCET - REGENCY #800FWM812.
- 14 POINT OF SALE & CASH REGISTER
- 15 3-COMPARTMENT STAINLESS STEEL SINK 60"W x 18 1/2"D x 33", SAUBER, PA1853 w/ FAUCET, OVERFLOW TUBE & STRAINER.
- 16 1/4 HP FOOD GRINDER, HOBART FD475-1
- 17 48"W x 24"D x 34"H STAINLESS STEEL WORK TABLE, EAGLE T2448E
- 18 GREASE TRAP - ENDURA 50 3950A04 (4") 50 GAL. 100 LBS 31" x 23.5" x 23.5"
- 19 WIRE SHELING - REGENCY
24"D x 72"W x 74"H
- 20 WIRE SHELING - REGENCY
24"D x 48"W x 74"H
- 21 WIRE SHELING - REGENCY
16"D x 48"W x 74"H
- 22 2- NAVIEN NPE TANKLESS WATER HEATERS NPE-180A, 15,000-150,000 BTU/H
- 23 2-DOOR REFRIGERATOR BREAD STATION AVANTCO AU-48R-HC, 47 1/4" x 29 1/2" x 35 1/2"
- 24 BEVERAGE COOLER, TRUE GD.-23-HC-TSL01, 27" x 29 1/2" x 78 3/8"
- 25 WIRE SHELING - REGENCY
24"D x 36"W x 74"H
- 26 WORK TOP 2-DOOR COOLER - AVANTCO SS-WT-48R-HC, 47 1/4" x 29 1/2" x 38 1/4"
- 27 PREP TABLE WITH SINK - EAGLE T2472SEB-BS w/ 16" x 20" x 1 1/2" SINK w/ FAUCET
- 28 REGENCY 14" x 24" CHROME WIRE WALL MOUNT SHELF FOR CHEMICAL STORAGE - MOUNT 60" A.F.F.
- 29 REGENCY 18" x 48" 16 GAUGE STAINLESS STEEL SHELF FOR UTENSILS - MOUNT 60" A.F.F.
- 30 REGENCY GRAY 12" X 18" X 72" SINGLE, 4-TIER LOCKER

Plans & Details

SHEET TITLE	DATE
Permits	04/30/24
WO/HHS Review	07/02/24

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 Vincent Warren
 264 Columbia Avenue
 Belleville, Michigan 48111

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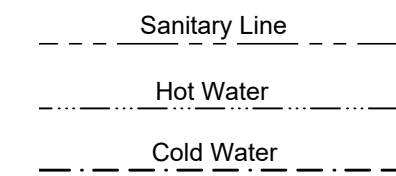


1
A-03 SCALE: 3/4"=1'-0"

NEW PLUMBING FIXTURE CONNECTIONS:

Fixture	Soil or Waste	Vent	Trap	Hot Water	Cold Water
Hand Sinks	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
Single or Triple Basin Sinks	2-1/2"	2"	2-1/2"	3/4"	1/2"
Water Heater (Tankless)				3/4"	3/4"
Floor Drains	3"	2"	3"		
Floor Sinks	3"	2"	3"		

PLUMBING LEGEND:

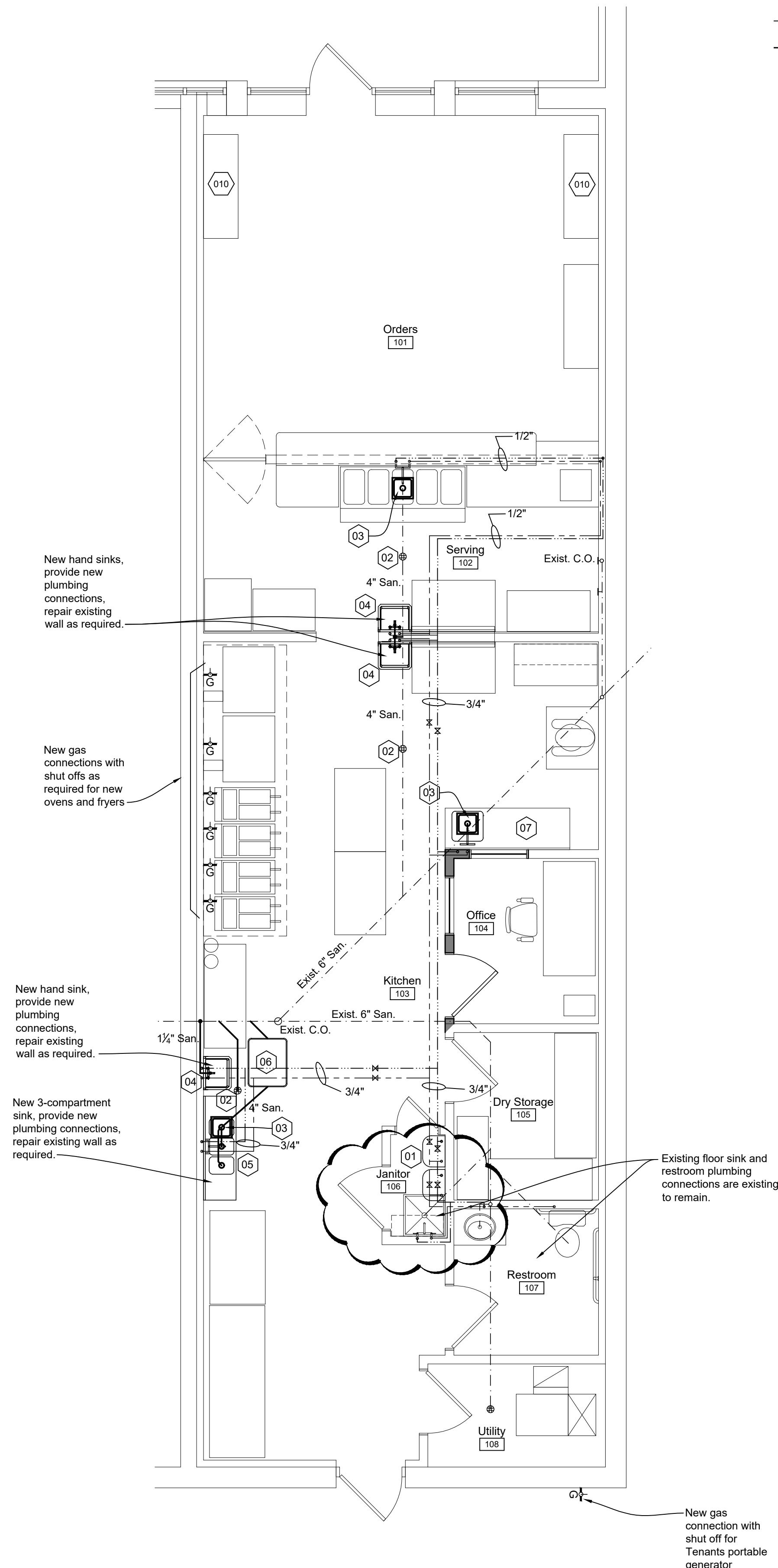


PLUMBING FIXTURE SCHEDULE

- RESTROOMS:**
ALL FIXTURES ARE EXISTING TO REMAIN
- OTHER:**
SERVICE SINK: EXISTING TO REMAIN
- 01** WATER HEATER-2: NAVIEN NPE TANKLESS WATER HEATER NPE-180A, 15,000-155,000 BTU/H
- KITCHEN:**
- 02** FLOOR DRAIN: ZURN MODEL # Z453B W/ 6" DIA. TYPE "B" BRONZE STRAINER AND DEEP SEAL TRAP.
- 03** FLOOR SINK: ZURN 12"x12"x6" MODEL #FD2375-NH3.
- 04** HAND SINKS: 16"Wx15"Dx36"H STAINLESS STEEL HAND SINK W/ 8" BACK SPLASH & SIDE SPLASH GUARDS.
- 05** 3-COMPARTMENT SINK: 84"W x 27"D STAINLESS STEEL 3 COMPARTMENT, 18"Wx24"Dx12" BASINS w/ LEFT SIDE DRAIN BOARD, MODEL 600S3181824GLFT
- 06** GREASE TRAP: ENDURA 50 3950A04 (4") 50 GAL. 100 LBS. 31"x23.5"x23.5"
- 07** PREP TABLE: EAGLE T2472SEB-BS 24"x72"x35 1/2" w/ 16"x20"x14" SINK & FAUCET
- SERVING AREA:**
- 03** FLOOR SINK: ZURN MODEL # Z453B W/ 6" DIA. TYPE "B" BRONZE STRAINER AND DEEP SEAL TRAP

GENERAL PLUMBING NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH APPLICABLE NATIONAL, STATE, AND LOCAL CODES, RULES AND ORDINANCES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND CODE COMPLIANT.
- CONTRACTOR SHALL PROVIDE ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- CONTRACTOR SHALL VISIT JOB SITE AND THOROUGHLY FAMILIARIZES THEMSELVES' WITH ALL EXISTING CONDITIONS.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- VERIFY LOCATION, SIZE, ELEVATION, MATERIALS AND PRESENT STATE OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- VERIFY LOCATION OF PLUMBING ROUGH-INS WITH FINAL FIXTURE SELECTIONS PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR FIXTURE LOCATIONS. CENTERS OR ALIGNMENTS.
- ALL MATERIALS SHALL BE NEW AND BEAR CERTIFICATION LABELING WHERE APPLICABLE.
- ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS WORK SHALL BE PART OF THIS TRADES WORK.
- WATER PIPING TO BE TYPE "L" COPPER WITH WROUGHT SOLDER FITTINGS, EXCEPT WHERE NOTED OTHERWISE. NO PIPING PERMITTED BELOW SLABS UNLESS AUTHORIZED.
- USE INSULATING UNIONS AT CONNECTIONS OF DISSIMILAR METALS.
- ALL HORIZONTAL DRAIN LINES (SANITARY, STORM, A/C CONDENSATE, ETC) SHALL BE SLOPED 1/8" PER FT. UNLESS OTHERWISE NOTED.
- FOR PIPE SIZES TO INDIVIDUAL PLUMBING FIXTURES AND VARIOUS PIECES OF EQUIPMENT REFER TO EQUIPMENT SCHEDULE.
- IN ALL SANITARY DRAINAGE PIPING THE CONTRACTOR SHALL FURNISH AND INSTALL CLEANOUTS (IN ADDITION TO THE CLEANOUTS INDICATED ON DRAWINGS AS REQUIRED BY THE GOVERNING PLUMBING CODE).
- ALL SANITARY AND VENT LINES SHALL BE SCHEDULE 40 PVC. ALL PIPING ABOVE CEILINGS ARE TO BE CAST IRON OR OTHER PLENUM RATED MATERIAL.
- ALL SHUT OFF VALVES ARE TO BE BALL COCK VALVES.
- FOR ADDITIONAL NOTES COMMON TO PLUMBING REFER TO HVAC NOTES.
- REFER TO ALL OTHER TRADES DRAWINGS FOR COORDINATION AND SCOPE REQUIREMENTS.
- PLUMBER SHALL PROVIDE LAVATORY CARRIERS FOR STUD AND GYPSUM BOARD WALLS. COORDINATE WITH CARPENTRY TRADES.



New hand sinks, provide new plumbing connections, repair existing wall as required.

New gas connections with shut offs as required for new ovens and fryers

New hand sink, provide new plumbing connections, repair existing wall as required.

New 3-compartment sink, provide new plumbing connections, repair existing wall as required.

Existing floor sink and restroom plumbing connections are existing to remain.

New gas connection with shut off for Tenants portable generator

PLUMBING PLAN
SCALE: 1/4"=1'-0"

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Pumbing Plan	
ISSUED FOR	DATE
Permits	04/30/24
Revised	05/09/24
WCHHS Review	07/02/24

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 Vincent Warren
 264 Columbia Avenue
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SHEET No:	P - 01

GENERAL MECHANICAL SPECIFICATIONS:

GENERAL
MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED WORK AS SHOWN ON THE DRAWINGS AND AS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL PROJECT.

CODES, PERMITS AND FEES
ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS AND STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO THE CURRENT MICHIGAN BUILDING CODE, MICHIGAN MECHANICAL CODE, MICHIGAN PLUMBING CODE, MICHIGAN ENERGY CODE, NEC, OSHA, AND THE NFPA RULES AND REGULATIONS.

ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, APPROVALS AND FEES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR PERFORMING THE WORK.

INSPECTION OF SITE
BEFORE SUBMITTING A PROPOSAL, THE CONTRACTOR SHALL VISIT THE SITE, EXAMINE AND VERIFY THE CONDITIONS UNDER WHICH HIS WORK MUST BE CONDUCTED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF ERROR OR FAILURE ON THE PART OF THE CONTRACTOR IN MAKING SUCH INSPECTIONS.

INSPECTIONS SHALL BE MADE PRIOR TO ANY CUTTING, PATCHING AND/ OR REPAIR WORK BEING PERFORMED INCLUDING INSPECTIONS OF ELEMENTS SUBJECT TO MOVEMENT OR DAMAGE DURING CONSTRUCTION. PROTECTION SHALL BE PROVIDED FOR ANY AND ALL PARTS OF THE PROJECT EXPOSED TO THE ELEMENTS AND / OR POSSIBLE DAMAGE.

EXISTING FACILITIES
DO NOT INTERRUPT EXISTING UTILITIES UTILIZED BY THE OWNER, EXCEPT AS SPECIFIED OR WHEN APPROVED IN WRITING, AND THEN ONLY AFTER TEMPORARY UTILITY SERVICES HAVE BEEN APPROVED AND PROVIDED. INTERRUPTIONS MUST BE SCHEDULED TO SUIT THE OWNER'S REQUIREMENTS.

VERIFY ALL EXISTING WORK, WHERE EXISTING CONNECTIONS ARE PARTIAL, PROVIDE ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT REQUIRED TO MODIFY EXISTING WORK. IN ADDITION, MAINTAIN INTEGRITY OF THE EXISTING SYSTEMS. RECTIFY ANY CONTAMINATION, DEGRADATION OF CLEANLINESS OR DAMAGE TO THE EXISTING SYSTEMS TO THE SATISFACTION OF THE OWNER. PROVIDE ALL WORK SO REQUIRED AT NO INCREASE IN THE CONTRACTOR'S ORIGINAL PROPOSAL.

MAKE ALL CONNECTIONS TO EXISTING SYSTEMS DURING DESIGNATED PERIODS UPON APPROVAL OF THE OWNER AND AT NO INCREASE IN CONTRACT SUM.

MANUFACTURER'S DIRECTIONS
INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH ALL DIRECTIONS AND RECOMMENDATIONS FURNISHED BY THE MANUFACTURER.

INSTALL ALL CEILING GRID, DUCTWORK, PIPING, ETC. PER ASTM C636 AND SEISMIC DESIGN REQUIREMENTS PER CODE. DO NOT SUSPEND FROM ROOF DECK OR FLOOR DECK. PROVIDE HANGERS FROM BUILDING STRUCTURAL COMPONENTS ONLY.

COORDINATION WITH OTHER TRADES
EACH CONTRACTOR SHALL INSTALL HIS WORK SO AS TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES.

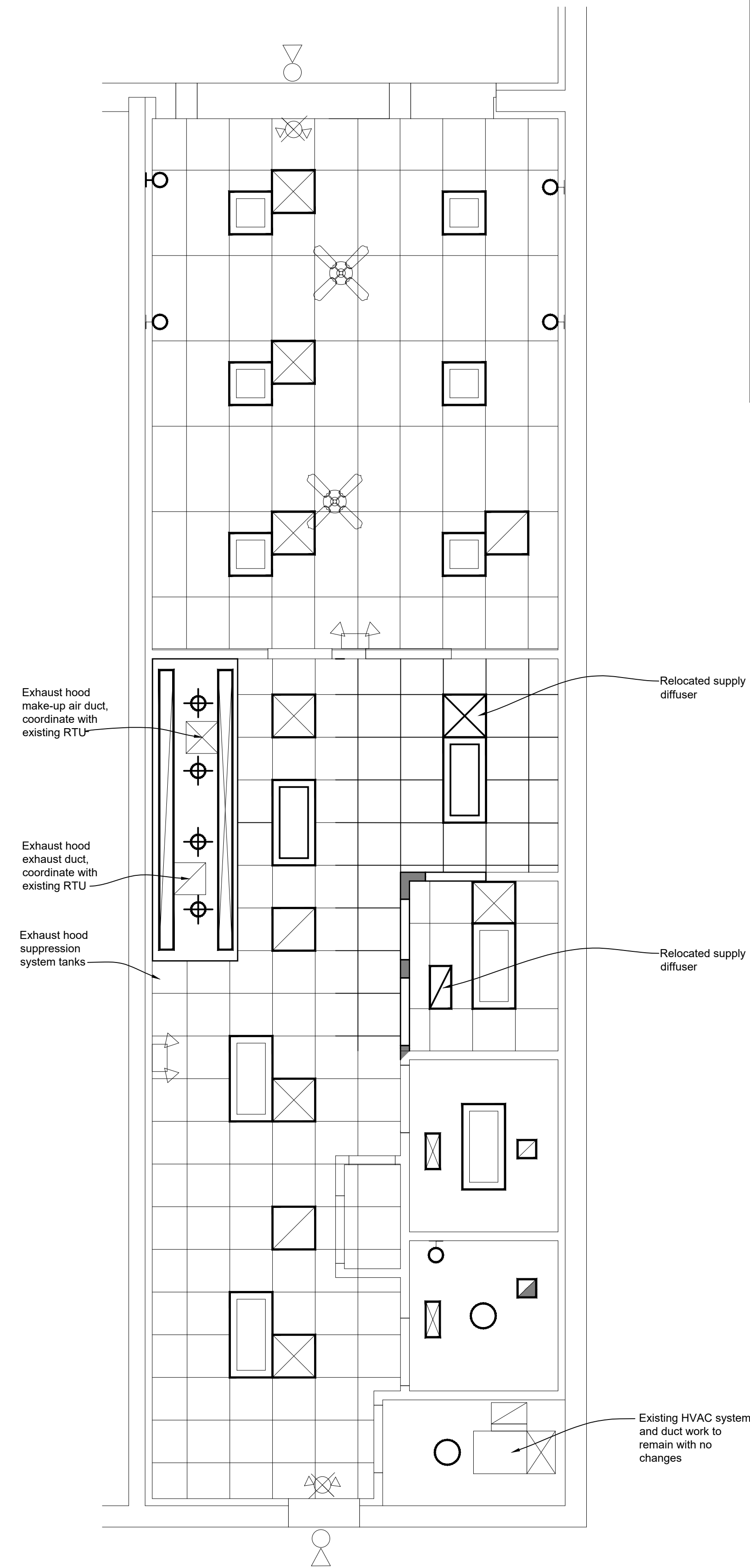
GENERAL HVAC NOTES:

1. MAIN DUCT TRUNKS ARE EXISTING TO REMAIN.
2. CLASS A FLEXIBLE DUCT: DUCT SYSTEMS SHALL COMPLY WITH "NFPA" STANDARD NUMBER 90A AND OR 90B. DUCTWORK AND COMPONENTS SHALL BE CLASS 1 MATERIALS IN ACCORDANCE WITH U.L. 181 TESTS. FLEXIBLE DUCT NOT TO EXCEED 10'-0" IN LENGTH FROM MAIN OR BRANCH METAL DUCTS.
3. COORDINATE LOCATIONS, SIZES AND OPENINGS WITH OTHER TRADES. PROVIDE THE COMPLETE DUCT SYSTEM WITH TURNING VANES AT ALL ELBOWS, SPLITTERS AND DAMPERS. USE THE BEST PRACTICES OF THE TRADE IN THE FABRICATION AND INSTALLATION OF THE SYSTEM.
4. DIFFUSERS SHALL BE SELECTED, LOCATED AND BALANCED TO DELIVER THE REQUIRED CFM TO EACH ROOM EVENLY AND DRAFT FREE. PROVIDE A MINIMUM OF 15 CFM PER PERSON OCCUPANCY OF FRESH OUTSIDE AIR TO THE DISTRIBUTION SYSTEM. MAINTAIN THE FOLLOWING DESIGN CONDITIONS:

INSIDE		
COOLING:	78 DB	91 DB - 79 WB
HEATING:	72 DB	45 - DB

5. ALL FAN UNITS, MOTORS, COMPRESSORS, ETC. SHALL BE ISOLATED AS REQUIRED TO OPERATE QUIETLY SO THAT NO OBJECTIONABLE SOUND WILL BE HEARD IN THE HABITABLE SPACES DUE TO AIR VELOCITY, MOTOR HUM, VIBRATION OR MECHANICAL MOVEMENT.
6. A/C SYSTEM SHALL HAVE DISPOSABLE AIR FILTERS LOCATED AS REQUIRED FOR EASY ACCESSIBILITY.

7. HVAC SYSTEM SHALL BE CONTROLLED BY A THERMOSTAT. SYSTEMS OVER 2,000 CFM SHALL INCLUDE A RETURN AIR SMOKE DETECTOR. SMOKE DETECTORS SHALL INCLUDE A TRIP INDICATOR LIGHT AND A KEY RESET SWITCH LOCATED BESIDE THE THERMOSTAT. MOUNT THERMOSTAT 54" ABOVE FINISHED FLOOR.
8. ALL GRILLES AND DIFFUSERS TO BE METAL CONSTRUCTION. DIFFUSERS SHALL HAVE HIDDEN OPPOSED BLADE DAMPERS. PROVIDE GASKETS ON ALL GRILLES AND DIFFUSERS.
9. UNDERCUT DOORS 1" A.F.F., WHERE INDICATED.
10. ALL REFRIGERANT PIPING SHALL BE COPPER - HARD DRAWN TYPE L-ACR TYPE, DEHYDRATED AND SEALED. ALL JOINTS SHALL BE MADE WITH HIGH TEMPERATURE BRAZING ALLOY OF NOT LESS THAN 5% SILVER. PIPING INSULATION NOT LESS THAN 3/4" THICK "ARMAFLEX". LIQUID AND SUCTION LINES SHALL BE SIZED ACCORDING TO EQUIPMENT MANUFACTURER'S RECOMMENDATIONS FOR EQUIVALENT LENGTH OF PIPING RUN FOR CONNECTED TONNAGE. ALL PIPING ACCESSORIES SHALL BE CONSTRUCTED AS SUGGESTED BY EQUIPMENT MANUFACTURER. ALL PIPING SHALL BE EVACUATED BEFORE START-UP. PROVIDE FILTER/ DRYER AND SITE GLASS ON LIQUID LINE.
11. PROVIDE DOUBLE THICKNESS TURNING VANES AS REQUIRED FOR PROPER AIR BALANCING.
12. PROVIDE SPLITTER DAMPERS OR ADJUSTABLE TURNING VANES AT ALL BRANCH DUCT TAKEOFFS AS REQUIRED FOR PROPER AIR BALANCING.



HVAC PLAN
SCALE: 1/4"=1'-0"

HVAC LEGEND	
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING RETURN AIR DIFFUSER
	EXISTING EXHAUST FAN
	EXIT LIGHT W/ BATTERY BACK UP
	EMERGENCY LIGHT W/ BATTERY BACK UP
	EXIT LIGHT COMBO EMERGENCY LIGHT W/ BATTERY BACK UP
	EXISTING REMOTE EXTERIOR EMERGENCY LIGHT
	EXISTING LAYIN LIGHT FIXTURE
	EXISTING SURFACE MOUNTED LIGHT FIXTURE
	EXISTING WALL MOUNTED LIGHT FIXTURE
	EXISTING CEILING FAN

GENERAL NOTES:

1. Existing furnace and A/C system is existing to remain.
2. Existing ductwork and diffusers are existing to remain, adjust CFM as needed to meet code.
3. Relocate existing diffusers as needed.

PROJECT
Lease Space Remodeling for Retta B's Southern Cuisine
Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

APPROVED
DRAWING DATE
04/09/2024

CHECKED
DRAWN

PROJECT No.
24-649 .01

SHEET No.
M - 01

HVAC Plan

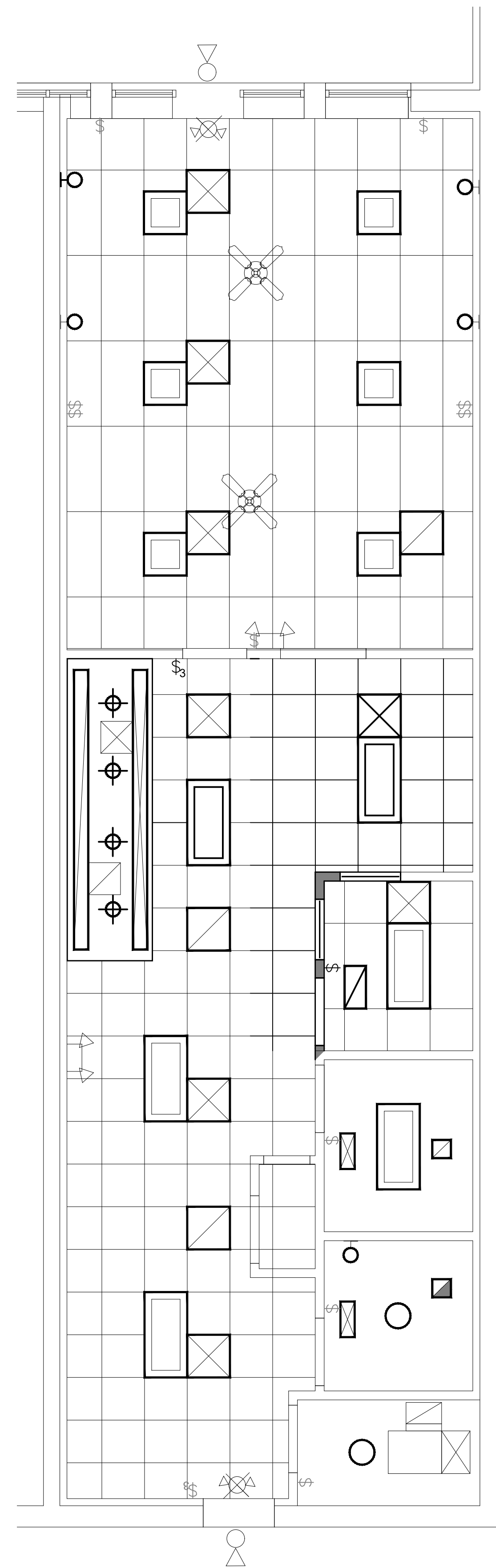
SHEET TITLE
DATE
04/30/24
PERMITS

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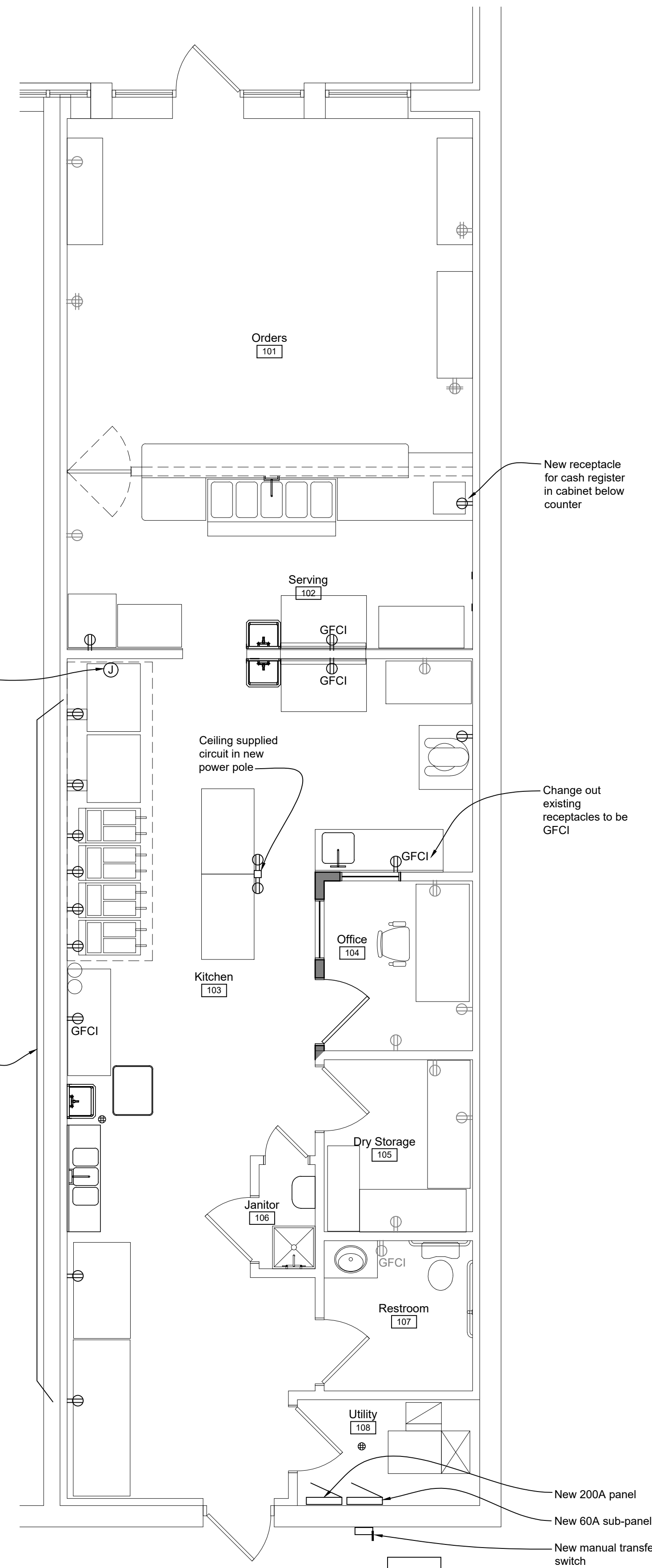
ASSOCIATE/CONSULTANT

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH LATEST EDITION OF N.E.C., LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT. (OSHA).
- ALL ELECTRICAL SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL BUILDING CODES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES, AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. AT THE COMPLETION OF ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL FURNISH THE OWNER WITH ALL CERTIFICATES OF FINAL INSPECTIONS AND APPROVALS.
- ALL ELECTRICAL MATERIALS SHALL BE NEW OR REFURBISHED AND BEAR THE "UL" LABEL OR LISTING.
- ALL CONDUIT SHALL BE WITH IN WALL CAVITIES, UNLESS OTHERWISE NOTED.
- ALL CONDUITS SHALL BE ELECTRICAL METALLIC TUBING, MINIMUM 1/2" SIZE. FLEXIBLE EMT MAY BE USED FOR BRANCH CIRCUITS OR DEVICE CONNECTIONS ONLY. RIGID EMT SHALL BE UTILIZED ELSEWHERE.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO FAMILIARIZE HIMSELF WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ROUSH FACILITY DEPARTMENT BEFORE ENTERING INTO CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE ROUSH FACILITY DEPARTMENT WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE DESIGN INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY OWNER.
- ALL CONDUIT SYSTEMS, PANELS, ETC., SHALL BE THOROUGHLY GROUNDED IN ACCORDANCE WITH THE N.E.C. AND ALL LOCAL CODES.
- THE ELECTRICAL TRADES SHALL VERIFY EXACT LOCATION FOR ALL EQUIPMENT AND SYSTEMS FURNITURE FURNISHED BY OTHERS. AFTER ALL EQUIPMENT AND SYSTEMS FURNITURE HAS BEEN INSTALLED, THE ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AND SHALL INCLUDE IN HIS BASE BID ALL WIRE, CONDUITS, CONNECTORS, DISCONNECT SWITCHES, ETC., THAT ARE REQUIRED TO MAKE FINAL CONNECTIONS.
- THE ELECTRICAL TRADES SHALL GUARANTEE ALL WORK INSTALLED UNDER HIS CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE BUILDING BY THE OWNER, AND SHOULD DEFECTS OCCUR WITHIN THIS PERIOD, REPAIR AND/OR REPLACE DEFECTIVE ITEMS, AT NO EXPENSE TO THE OWNER.
- ANY ELECTRICAL INSTALLATION WITHIN PLENUM CEILING SPACES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, SECTION 300-22(C).
- ELECTRICAL EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, SECTIONS 110-2 AND 110-3. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL MOUNTING, HANGERS, SHELVES, ETC. FOR THE INSTALLATION OF ELECTRICAL EQUIPMENT.
- THE WIRING METHODS AND MATERIALS INDICATED AND NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, ARTICLE 300.
- GENERAL DUTY RECEPTACLES SHALL BE 15 AMP SPECIFICATION GRADE, 125 VOLT AC, NEMA 5-15 CONFIGURATION.
- SINGLE APPLIANCE TYPE RECEPTACLES SHALL BE IDENTICAL TO GENERAL DUTY EXCEPT RATED AT 20 AMPS.
- SWITCHES SHALL BE SPECIFICATION GRADE 125-277 VOLT 20 AMP.
- SPECIAL PURPOSE OUTLETS SHALL BE EITHER 250 VOLT, 30 AMP, NEMA 6-30R OR 250 VOLT, 50 AMP, NEMA 6-50R AS REQUIRED.
- DEVICES AND COVER PLATES SHALL MATCH EXISTING.
- DEDICATED RECEPTACLES FOR COMPUTER EQUIPMENT SHALL BE ORANGE.
- PROVIDE JUNCTION BOXES AS REQUIRED AND FEED ALL LIGHTING CIRCUITS THROUGH APPROPRIATE JUNCTION BOXES.
- PROVIDE GROUND FAULT PROTECTION ON ALL CIRCUITS SHOWN ON THE DRAWINGS USING GROUND FAULT INTERRUPTING BREAKERS, OR DEVICES.
- ALL NEW RECEPTACLE OUTLETS SHALL BE 18" A.F.F. TO THE CENTER OF THE DEVICE, U.O.N. ALL NEW SWITCHES SHALL BE 48" A.F.F. TO THE CENTER OF THE DEVICE, U.O.N. UTILIZE NEAREST BRANCH CIRCUIT WITH CAPACITY FOR NEW RECEPTACLES. PROVIDE NEW CIRCUITS AS REQUIRED.
- FOR ALL NEW DATA OUTLETS PROVIDE 4"x4" ELECTRICAL BOX WITH 1"Ø CONDUIT, OR AS OTHERWISE SPECIFIED, STUBBED OUT OF WALL, MINIMUM 12" ABOVE THE CEILING. IN OPEN CEILING AREAS PROVIDE 4"x4" BOX WITH 1"Ø CONDUIT STUBBED OUT THE WALL TO WITHIN 24" OF ROOF OR FLOOR DECK.
- AT ALL LOW VOLTAGE CONDUIT TERMINATIONS ABOVE THE CEILING OR STUBBED OUT OF A WALL, PROVIDE AND INSTALL AN INSULATING BUSHING TO PROTECT LOW VOLTAGE CABLES DURING INSTALLATION.
- EXISTING RECEPTACLES AND SWITCHES, NOT SHOWN, TO REMAIN. VERIFY LOCATIONS WITH NEW WALLS AND RELOCATE AS REQUIRED. PATCH EXISTING WALLS ACCORDINGLY.



LIGHTING PLAN
SCALE: 1/4"=1'-0"



POWER PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES

THIS OVERVIEW OF SCOPE IS INCLUDED TO GIVE THE CONTRACTOR A GENERAL OVERVIEW OF THE PROJECT REQUIREMENTS. THE OVERVIEW IS NOT ALL INCLUSIVE AND IS NOT INTENDED TO, AND SHOULD NOT BE USED TO, ESTABLISH CONTRACT LIMITS OR PRICING INCLUSIONS. THE CONTRACT DOCUMENTS SHALL BE USED TO ESTABLISH CONSTRUCTION CONTRACT SCOPE.

THIS OVERVIEW OF SCOPE INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- ELECTRICAL:**
- REMOVAL AND/OR RELOCATION OF EXISTING LIGHT FIXTURES IN RENOVATION AREAS.
 - PROVIDE POWER DISTRIBUTION SYSTEMS INCLUDING RECEPTACLES, DISCONNECTS, ETC. AS NEEDED.
 - VERIFY EXISTING RECEPTACLES AND MOVE AS NEEDED TO ACCOMMODATE NEW EQUIPMENT.
 - VERIFY OPERABILITY OF EXISTING EXIT AND NIGHT LIGHTING AND REPLACE AS NEEDED.
 - PROVIDE NEW 200A ELECTRICAL SERVICE WITH 60A SUB-PANEL FOR TENANT PROVIDED BACK-UP GENERATOR. CONNECT EQUIPMENT TO 60A PANEL AS DIRECTED BY TENANT.

ELECTRICAL CONTRACTOR, AS THE DESIGN/BUILDER, TO SUBMIT FOR APPROVAL DETAILED DRAWINGS OF ALL ELECTRICAL CIRCUITING PLANS, ELECTRICAL PANELS, DISTRIBUTION PANELS, PANEL SCHEDULES, AND ONE LINE DRAWINGS.

MANUFACTURER AND MODEL NUMBER LISTED REPRESENTS THE BASIS OF DESIGN FOR THIS PROJECT. THE ELECTRICAL CONTRACTOR SHALL BEAR ALL ADDITIONAL COST ASSOCIATED WITH USING EQUIPMENT BY OTHER APPROVED MANUFACTURERS INCLUDING ADDITIONAL COSTS BY OTHER TRADES.

ALL EQUIPMENT INSTALLED SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE FIELD OR PROJECT CONDITIONS DO NOT ALLOW ALL MANUFACTURER'S RECOMMENDATIONS TO BE MET, THE INSTALLING CONTRACTOR SHALL SUBMIT IN WRITING TO THE ENGINEER THE PROPOSED DEVIATION, IN A SKETCH FORM, ACCOMPANIED BY THE MANUFACTURER'S CONCURRENCE.

ELECTRICAL LEGEND

⊕ \$	EXISTING RECEPTACLE, SWITCH, LIGHT FIXTURE, OR DEVICE TO REMAIN
⊕	20A 120V DUPLEX RECEPTACLE
⊕ WP	20A 120V GFCI DUPLEX RECEPTACLE IN WEATHER PROOF BOX
⊕ GFCI	20A 120V GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
\$	20A SINGLE POLE SWITCH
\$ ₃	20A 3-WAY SWITCH
\$ _{MS}	20A MOTION SENSOR SWITCH
⊙	JUNCTION BOX w/ 15A CIRCUIT
⊕ MS	CEILING MOUNTED MOTION SENSOR
⊗	EXIT LIGHT W/ BATTERY BACK UP
⊗	EMERGENCY LIGHT W/ BATTERY BACK UP
⊗	EXIT LIGHT COMBO EMERGENCY LIGHT W/ BATTERY BACK UP
⊙	EXISTING REMOTE EXTERIOR EMERGENCY LIGHT

GENERAL NOTES:

- Provide local switching for all individual rooms.
- Provide general switching for open areas.
- All kitchen light fixtures are to be sealed per Wayne County Health Department requirements

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Power & Lighting Plans

SHEET TITLE	DATE
ISSUED FOR	04/30/24
Permits	

Lease Space Remodeling for Retta B's Southern Cuisine
 Vincent Warren
 264 Columbia Avenue
 Belleville, Michigan 48111

PROJECT	APPROVED	DRAWING DATE
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